

275 CANAL STREET

HISTORICAL RENOVATION

275 CANAL STREET,
NEW YORK, NY 10013

STOREFRONT AND WINDOWS FILING SET

03 MARCH 2018

BUILDING INFORMATION

ADDRESS: 275 CANAL STREET (10013)
BOROUGH: MANHATTAN
BLOCK: 209
LOT: 35
LOT FRONTAGE: 25'-1"
LOT DEPTH: 96'-10"
LOT AREA: 2,362 SF
ZONING MAP: 12a
ZONING: M1-5B
HISTORIC DISTRICT: SOHO - CAST IRON HISTORIC DISTRICT EXTENSION

SCOPE OF WORK

- NEW COMMERCIAL METAL INFILL DESIGN ON GROUND FLOOR HISTORICALLY INSPIRED BY PRECEDENTS TYPICALLY FOUND IN THE SOHO CAST-IRON DISTRICT.
- NEW WOOD WINDOWS ON STREET FACADE BASED ON HISTORIC CONDITION

SITE PLAN

SCALE: 1/64" = 1'-0"



DRAWING LIST

ARCHITECTURAL

- A-001.00 COVER SHEET W/ DRAWING LIST
- A-002.00 GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
- A-003.00 TYPICAL ADA DETAILS
- LPC-001 HISTORICAL STUDY AND DESIGNATION
- LPC-002 EXISTING STOREFRONT CONDITIONS AND VIEWS
- LPC-003 EXISTING WINDOW CONDITIONS AND VIEWS
- D-001.00 DEMOLITION NOTES
- A-200.00 EXISTING AND PROPOSED CANAL STREET ELEVATIONS
- A-300.00 EXISTING AND PROPOSED ENLARGED STOREFRONT ELEVATIONS
- A-301.00 EXISTING AND PROPOSED ENLARGED STOREFRONT PLAN
- A-302.00 EXISTING AND PROPOSED ENLARGED STOREFRONT SECTIONS
- A-500.00 ENLARGED STOREFRONT DETAILS
- A-910.00 DOOR SCHEDULE AND ELEVATIONS
- A-920.00 WINDOW SCHEDULE AND ELEVATIONS
- A-921.00 WINDOW DETAILS



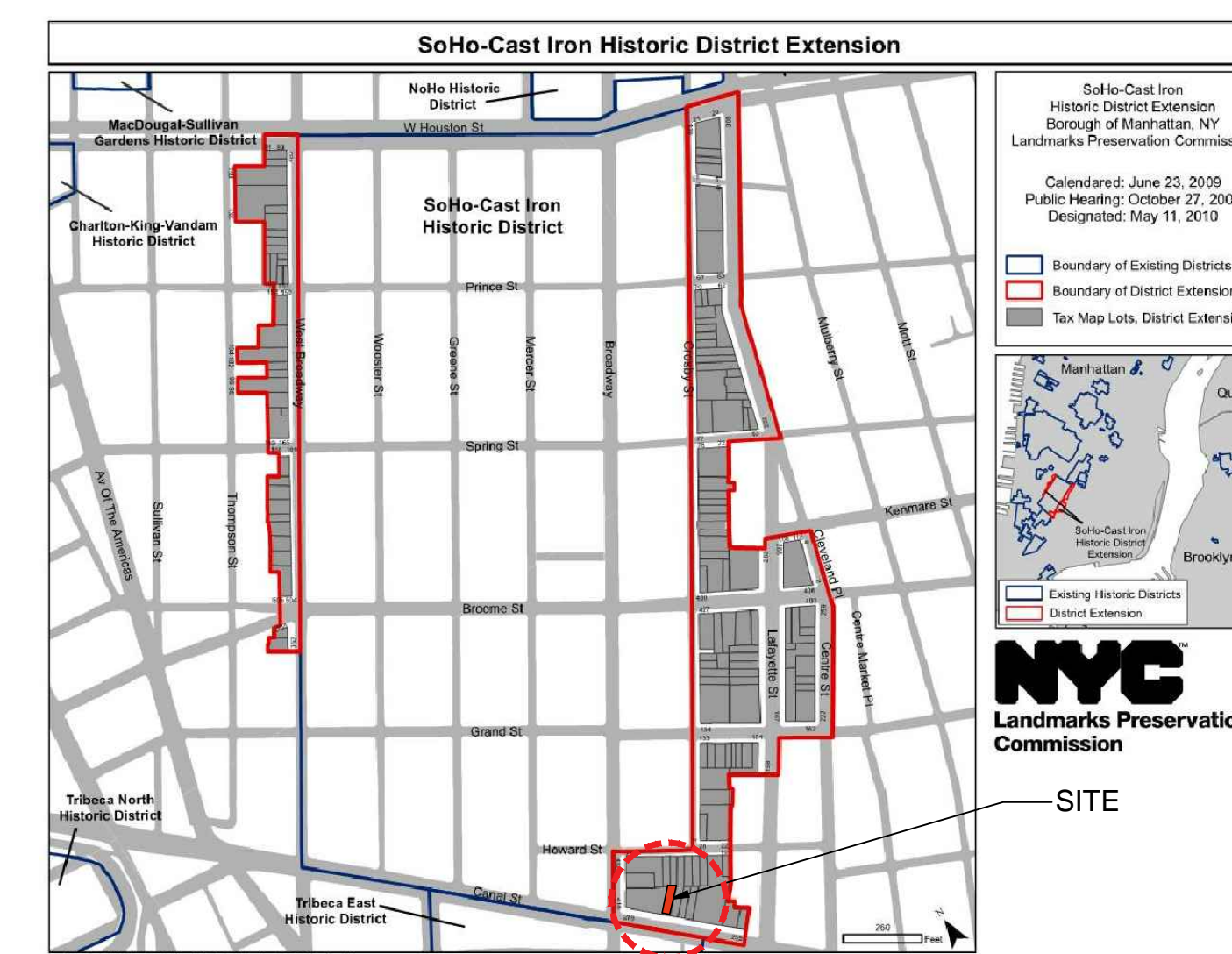
HISTORICAL INFORMATION



01 1940s TAX PHOTO
NTS



02 1980s TAX PHOTO
NTS



03 HISTORIC DISTRICT MAP
NTS

NOTE:
ALL DRAWINGS, SPECIFICATIONS, PLANS, IDEAS OR DESIGN REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY PKSB ARCHITECTS. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT, THEY SHALL NOT BE DISCLOSED OR GIVEN TO OR USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY USE OR PURPOSE, EXCEPT UPON WRITTEN PERMISSION AND DIRECTION OF PKSB ARCHITECTS.

PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

PK
+
SB

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC
689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.
501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER

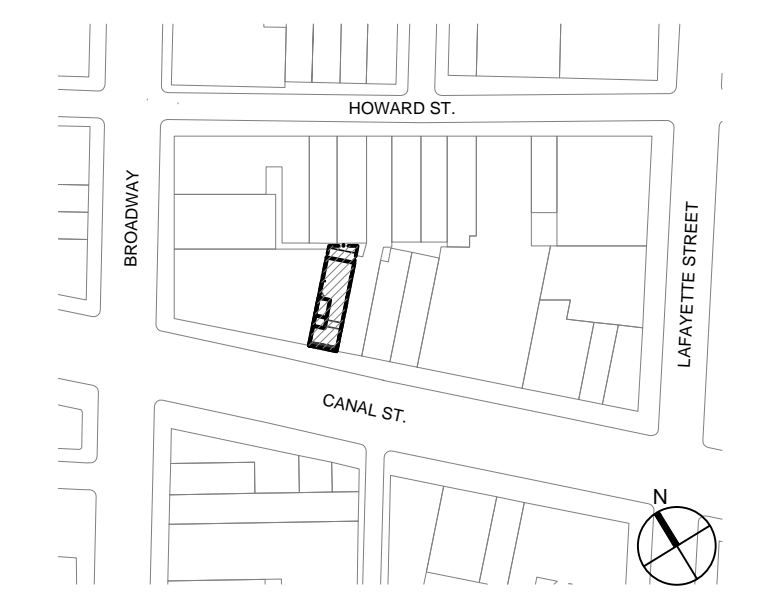
LAWLESS & MANGIONE, LLP
480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

PLUS GROUP, PLLC
32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

KEY PLAN



SEAL & SIGNATURE

DOB STAMP/SCAN

03-08-2018 INITIAL FILING SET TO DOB
Revision Date Remarks
Drawing Title

COVERSHEET W/ DRAWING LIST

PROJECT NO. 1717
DATE 03/08/18
SCALE AS NOTED
DRAWN / CHECKED
FC/SP

DRAWING NO.

A-001.00

SHEETS IN DOB SET
01 of 15

GENERAL NOTES

1. THE "ARCHITECT" REFERRED TO THROUGHOUT THE GENERAL NOTES SHALL MEAN PKSB ARCHITECTS, P.C. THE "OWNER" SHALL MEAN: 275 CANAL STREET, SPE LLC 689 FIFTH AVENUE, 4TH FLOOR, NEW YORK, NY 10022, (212) 879 0500
2. THE GENERAL CONTRACTOR AND/OR BUILDING CONTRACTOR IS TO PROVIDE EVERYTHING NECESSARY FOR THE COMPLETION OF THE WORK SHOWN IN ALL DRAWINGS, WITH THE EXCEPTION OF THOSE ITEMS INDICATED "BY OTHERS". IN ALL CASES, THE CONTRACTOR IS TO COORDINATE HIS WORK WITH THE VARIOUS "BY OTHERS" WHICH WILL MEAN CONTRACTORS UNLESS SPECIFICALLY INSTRUCTED OTHERWISE.
3. THE CONTRACTOR WILL BE FURNISHED, FREE OF CHARGE, ONE SET OF BLACK AND WHITE PRINTS AND ONE DISK CONTAINING DIGIT OF THE DRAWINGS AND SPECIFICATIONS FOR THE EXECUTION OF THE WORK. IF REQUESTED IN WRITING, ADDITIONAL COPIES WILL BE PROVIDED AT REPRODUCTION AND HANDLING COST.
4. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT HE MAY DISCOVER. THE CONTRACTOR SHALL BE LIABLE TO THE OWNER AND THE ARCHITECT FOR ANY DAMAGE RESULTING FROM ANY SUCH ERRORS, INCONSISTENCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DO NO WORK WITHOUT DRAWINGS, SPECIFICATIONS, OR MODIFICATIONS. THE DRAWINGS AND SPECIFICATIONS RELATIVE TO EXISTING CONSTRUCTION SHOW CONDITIONS AS THEY ARE BELIEVED TO EXIST. BUT IT IS NOT INTENDED OR TO BE INFERRED THAT THE CONDITIONS SHOWN ON THE DRAWINGS CONSTITUTE A REPRESENTATION BY OWNER OF SUCH CONDITIONS.
5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

LAYING OUT THE WORK: THE CONTRACTOR SHALL VERIFY THE LAYOUT OF THE WORK, AND ALL RELATED WORK, AND SHALL PROVIDE FOR HIMSELF AND FOR ALL SUB-CONTRACTORS AND SEPARATE CONTRACTORS THE NECESSARY LEVELS, MEASUREMENTS, AND LOCATIONS. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THEIR CORRECTNESS. EXTRA CHARGES OR COMPENSATION WILL NOT BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THE DIMENSIONS SHOWN ON THE DRAWINGS. BUT ANY SUCH DIFFERENCES THAT MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR ADJUSTMENT BEFORE PROCEEDING WITH WORK.

SUPERINTENDENCE: THE CONTRACTOR SHALL PROVIDE A FULLY QUALIFIED AND ADEQUATE FIELD STAFF, INCLUDING AN APPROVED PROJECT SUPERINTENDENT AND ADMINISTRATOR AND OTHER PERSONNEL REQUIRED IN ORDER TO ASSURE COMPLETE AND COMPREHENSIVE SUPERVISION, ADMINISTRATION AND COORDINATION OF ALL WORK. SUCH SUPERINTENDENCE OF WORK BY THE PROJECT SUPERINTENDENT OR A DESIGNATED MEMBER OF HIS STAFF IN HIS ABSENCE SHALL BE CONTINUOUS AT ALL TIMES WHEN WORK OF ANY KIND IS IN PROGRESS.

6. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, WATER, HEAT, UTILITIES, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

7. THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG HIS EMPLOYEES, AND SHALL NOT EMPLOY ANY UNFIT PERSON OR ANYONE NOT SKILLED IN HIS ASSIGNED TASK.

8. CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIAL AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE COMPLETED IN GOOD, CAREFUL, AND WORKMAN LIKE MANNER, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND WILL BE OF FIRST-CLASS QUALITY, FREE FROM FAULTS AND DEFECTS. ALL WORK NOT CONFORMING TO THESE STANDARDS WILL BE CONSIDERED DEFECTIVE. THE CONTRACTOR WILL REPLACE OR REPAIR ANY DEFECTIVE WORK, OR WORK THAT IS OTHER THAN SPECIFIED, OR DOES NOT PERFORM THE FUNCTION FOR WHICH IT WAS DESIGNED, AND WILL REIMBURSE THE OWNER FOR ANY EXPENSE IN CONNECTION WITH ANY DAMAGE DONE TO ANY PROPERTY BY REASON OF ANY OF SAID CAUSES, OR BY REASON OF THE REMOVAL AND REPLACEMENT OF WORK DONE BY CONTRACTOR, SUBCONTRACTORS, OR SUB-CONTRACTORS.

9. UNUSED

10. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENCES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK WHICH ARE APPLICABLE AT THE TIME THE BIDS ARE RECEIVED.

11. THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR CONTROLLED INSPECTION OF MATERIALS AND CONSTRUCTION METHODS IN ACCORDANCE WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING DEPARTMENT AND OTHER AUTHORITIES HAVING JURISDICTION. THIS SHALL INCLUDE, BUT NOT LIMITED TO, CONTROLLED INSPECTION OF CONTRACTORS PERMITS; FILING AND APPROVAL OF MISCELLANEOUS APPLICATIONS; FIRE DEPARTMENT APPROVALS; CONSTRUCTION SIGN-OFF AND RELATED FIELD INSPECTIONS; SECURING OF AMENDED CERTIFICATE OF OCCUPANCY, ETC.

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ALL OF HIS EMPLOYEES AND ALL SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

13. THE CONTRACTOR, IMMEDIATELY AFTER BEING AWARDED THE CONTRACT, SHALL PREPARE AND SUBMIT FOR THE ARCHITECT'S APPROVAL AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK. THE PROGRESS SCHEDULE SHALL BE RELATED TO THE CONTENTS OF THE CONTRACT DOCUMENTS. THIS SCHEDULE SHALL INDICATE THE DATES FOR THE START AND COMPLETION OF THE VARIOUS STAGES OF CONSTRUCTION, AND SHALL BE REVISED AS REQUIRED BY THE CONDITIONS OF THE WORK, SUBJECT TO THE ARCHITECT'S APPROVAL.

14. THE CONTRACTOR SHALL MAINTAIN AT THE SITE FOR THE OWNER ONE COPY OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA, APPROVED SHOP DRAWINGS, CHANGE ORDERS, AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION, SHALL BE DELIVERED TO HIM FOR THE OWNER UPON COMPLETION OF THE WORK.

15. THE CONTRACTOR SHALL REVIEW, STAMP WITH HIS APPROVAL AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN ORDERLY SEQUENCE SO AS TO AVOID DELAY IN THE WORK OR IN THE WORK OF ANY OTHER CONTRACTOR, ALL SHOP DRAWINGS AND SAMPLES REQUIRED BY THE CONTRACT DOCUMENTS OR SUBSEQUENTLY BY THE ARCHITECT AS COVERED BY MODIFICATIONS. SHOP DRAWINGS AND SAMPLES SHALL BE PROPERLY IDENTIFIED AS SPECIFIED, OR AS THE ARCHITECT MAY REQUIRE. AT THE TIME OF CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DEVIATION IN THE SHOP DRAWING OF SAMPLES FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

16. BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, THE CONTRACTOR THEREBY REPRESENTS THAT HE HAS DETERMINED AND VERIFIED ALL FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA, MATERIALS, CATALOGUE NUMBERS AND SIMILAR DATA-OR WILL DO SO-AND THAT HE HAS CHECKED AND COORDINATED EACH SHOP DRAWING AND SAMPLE WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS.

17. THE ARCHITECT WILL REVIEW AND APPROVE SHOP DRAWINGS AND SAMPLES WITH REASONABLE PROMPTNESS SO AS TO CAUSE NO DELAY, BUT ONLY FOR CONFORMITY WITH THE DESIGN CONCEPT OF THE PROJECT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE ARCHITECT'S APPROVAL OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

18. THE CONTRACTOR SHALL MAKE ANY CORRECTIONS REQUIRED BY THE ARCHITECT AND SHALL RESUBMIT THE REQUIRED NUMBER OF CORRECTED COPIES OF SHOP DRAWINGS OR NEW SAMPLES UNTIL APPROVED.

19. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SERVICES, INCLUDING ELECTRIC POWER, LIGHT, WATER AND HEAT REQUIRED TO EXECUTE THE WORK PROPERLY, INCLUDING TEMPORARY PIPING CONNECTIONS, ETC. AND THE REMOVAL OF SAME AS AND WHEN REQUIRED. WATER AND ELECTRIC CURRENT (AS AVAILABLE) WILL BE WITHOUT COST TO THE CONTRACTOR AT LOCATIONS DESIGNATED BY THE OWNER. ANY OTHER CHARGES INCURRED IN CONNECTION WITH TEMPORARY SERVICES SHALL BE BORNE BY THE CONTRACTOR. OFFICE AND TELEPHONE THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY OFFICE SPACE AT THE PREMISES, WHERE HE SHALL KEEP ON FILE AT ALL TIMES A COPY OF THE LATEST DRAWINGS, SPECIFICATIONS AND SHOP DRAWINGS AND SAMPLES OF MATERIALS. THE OFFICE LOCATION SHALL BE APPROVED BY THE OWNER AND PROVIDED WITH LIGHT, HEAT AND TELEPHONE. THE CONTRACTOR SHALL ARRANGE AND PAY FOR THE COSTS OF TELEPHONE INSTALLATION, WHICH SHALL BE FOR THE USE OF ALL EMPLOYED UPON THE WORK. TELEPHONE SHALL BE LOCATED IN THE TEMPORARY FIELD OFFICE, AND SHALL BE REMOVED UPON COMPLETION OF THE WORK. IN ADDITION, TELEPHONE SERVICES SHALL BE PROVIDED IN THE FIELD QUARTERS FOR USE OF OWNER'S AND ARCHITECT'S REPRESENTATIVES, AND CONTRACTOR SHALL ASSUME COST FOR SAME.

20. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY WORK BY CUTTING, EXCAVATING OR OTHERWISE ALTERING THE WORK OR ANY PART OF IT.

21. THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL HIS WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT, AS WELL AS ALL HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, AND SHALL CLEAN ALL GLASS SURFACES AND LEAVE THE WORK BROOM-CLEAN OR ITS EQUIVALENT, EXCEPT AS OTHERWISE SPECIFIED.

22. THE CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES - INCLUDING ATTORNEYS' FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (1) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THEREFROM; AND (2) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.

23. UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR IN THE INSTRUCTIONS TO BIDDERS, THE CONTRACTOR, AS SOON AS PRACTICABLE AFTER THE AWARD OF THE CONTRACT SHALL FURNISH TO THE ARCHITECT IN WRITING FOR ACCEPTANCE BY THE OWNER AND THE ARCHITECT A LIST OF THE NAMES OF THE SUBCONTRACTORS PROPOSED FOR THE PRINCIPAL PORTIONS OF THE WORK. THE ARCHITECT SHALL PROMPTLY NOTIFY THE CONTRACTOR IN WRITING IF EITHER THE OWNER OR THE ARCHITECT, AFTER DUE INVESTIGATION HAS REASONABLE OBJECTION TO ANY SUBCONTRACTOR IN SUCH LIST, AND DOES NOT ACCEPT HIM. FAILURE OF THE OWNER OR ARCHITECT TO MAKE OBJECTION PROMPTLY TO ANY SUBCONTRACTOR ON THE LIST SHALL CONSTITUTE ACCEPTANCE OF SUCH SUBCONTRACTOR.

24. THE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTION FOR ANY SUBCONTRACTOR OR PERSON OR ORGANIZATION WHO HAS BEEN ACCEPTED BY THE OWNER AND THE ARCHITECT, UNLESS THE SUBSTITUTION IS ACCEPTABLE TO THE OWNER AND THE ARCHITECT.

25. THE CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT AND THE EXECUTION OF THEIR WORK, AND SHALL CONNECT AND COORDINATE HIS WORK WITH THEIRS PROPERLY.

GENERAL NOTES CONTINUED

26. IF ANY PART OF THE CONTRACTOR'S WORK DEPENDS FOR PROPER EXECUTION OR RESULTS UPON THE WORK OF ANY OTHER SEPARATE CONTRACTOR, THE CONTRACTOR SHALL INSPECT AND PROMPTLY REPORT TO THE ARCHITECT ANY APPARENT DISCREPANCIES OR DEFECTS IN SUCH WORK THAT RENDER IT UNSUITABLE FOR SUCH PROPER EXECUTION AND RESULTS. FAILURE OF THE CONTRACTOR TO INSPECT AND REPORT SHALL CONSTITUTE AN ACCEPTANCE OF THE OTHER CONTRACTOR'S WORK AS FIT AND PROPER TO RECEIVE HIS WORK, EXCEPT AS TO DEFECTS WHICH MAY DEVELOP IN THE OTHER SEPARATE CONTRACTOR'S WORK AFTER THE EXECUTION OF THE CONTRACTOR'S WORK.

27. THE CONTRACTOR SHALL BE GOVERNED BY THE LAW OF THE PLACE WHERE THE PROJECT IS LOCATED. BUILDING OFFICIALS AND CODE ADMINISTRATORS AND ALL OTHER AGENCIES HAVING JURISDICTION OVER CODES AND REQUIREMENTS SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT.

28. THE OWNER SHALL HAVE THE RIGHT TO REQUIRE THE CONTRACTOR TO FURNISH BONDS COVERING THE FAITHFUL PERFORMANCE OF THE CONTRACT AND THE PAYMENT OF ALL OBLIGATIONS ARISING THEREUNDER, AND AS REQUIRED IN THE INSTRUCTIONS TO BIDDERS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. OWNER WILL ADVISE THE CONTRACTOR IN WRITING IF SUCH BONDS ARE REQUIRED, AND THE OWNER WILL PAY THE COST.

29. THE CONTRACT DOCUMENTS, LAWS, ORDINANCES, RULES, REGULATIONS OR ORDERS OF ANY PUBLIC AUTHORITY HAVING JURISDICTION REQUIRE ANY WORK TO BE INSPECTED, TESTED OR APPROVED, THE CONTRACTOR SHALL GIVE THE ARCHITECT CERTIFICATION OF INSPECTION, TESTING OR APPROVAL. THE CONTRACTOR SHALL BEAR ALL COSTS OF SUCH INSPECTIONS, TESTS AND APPROVALS UNLESS OTHERWISE PROVIDED.

30. REQUIRED CERTIFICATES OF INSPECTION, TESTING, OR APPROVAL SHALL BE SECURED BY THE CONTRACTOR, AND PROMPTLY DELIVERED BY HIM TO THE ARCHITECT.

31. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:

1. ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY,
2. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS OR SUB- SUBCONTRACTORS; AND
3. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, UTILITIES NOT DESIGNATED FOR REMOVAL, RELOCATION OR REPLACEMENT IN THE COURSE OF CONSTRUCTION.

32. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OR PUBLIC AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. HE SHALL ERCT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

33. THE CONTRACTOR SHALL SECURE, PAY FOR, AND MAINTAIN UNTIL ALL WORK IS COMPLETED, SUCH INSURANCE AS WILL PROTECT HIM, THE OWNERS AND ARCHITECT FROM CLAIMS UNDER WORKMEN'S COMPENSATION ACT, WORKMEN'S OCCUPATIONAL DISEASES ACT, AND FROM ANY OTHER CLAIMS FOR DAMAGES TO PROPERTY OR BODILY INJURY, INCLUDING DEATH, WHICH MAY ARISE FROM OPERATIONS UNDER THIS CONTRACT, WHETHER SUCH OPERATIONS BE BY THE CONTRACTOR OR ANY SUBCONTRACTOR OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY EITHER OF THEM. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL FURNISH TO THE OWNER CERTIFICATES OF INSURANCE IN DUPLICATE, AND ONE COPY TO THE ARCHITECT EXECUTED BY INSURANCE COMPANIES, APPROVED BY THE OWNER, TO EVIDENCE COVERAGE BY THE CONTRACTOR. THE CONTRACTOR SHALL KEEP SAID INSURANCE IN FULL FORCE UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. SUCH INSURANCE SHALL BE MODIFIED OR CANCELABLE ONLY ON WRITTEN NOTICE FROM SUCH INSURANCE COMPANIES, MAILED TO THE OWNER THIRTY (30) DAYS IN ADVANCE OF MODIFICATION OF CANCELLATION. HOLD HARMLESS OF OWNER AND ARCHITECT, THE CONTRACTOR AGREES TO PROTECT, DEFEND, INDEMNIFY AND SAVE HARMLESS THE OWNER, ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, AGAINST ANY AND ALL LIABILITY ARISING FROM ANY ACT, OMISSION OR NEGLIGENCE, WHETHER REAL OR ALLEGED, OF CONTRACTOR AND ALL SUBCONTRACTORS, OR OF THE OFFICERS, AGENTS, SERVANTS OR EMPLOYEES OR EITHER, OR ARISING FROM ANY INJURY OR DAMAGE, WHETHER REAL OR ALLEGED, CAUSED TO ANY PERSON OR TO THE PROPERTY OF ANY PERSON OCCURRING IN, ON, OR ABOUT THE PROJECT SITE DURING THE PERFORMANCE OF THE CONTRACT, AND THE CONTRACTOR SHALL INDEMNIFY OWNER, ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FOR ANY AND ALL COSTS, EXPENSES, AND/OR LOSSES RESULTANT THEREFROM, EXCEPTING ONLY THE ACT, OMISSIONS AND NEGLIGENCE OF OWNER, AND ARCHITECT. NO PROVISIONS REGARDING THE FURNISHING OF INSURANCE SHALL BE CONSTRUED TO AFFECT, IMPAIR OR EXCUSE CONTRACTOR'S OBLIGATION TO INDEMNIFY AND SAVE OWNER AND ARCHITECT HARMLESS.

34. ALL CUTTING AND PATCHING FOR ALL TRADES TO BE PERFORMED BY THE CONTRACTOR.

35. ALL WORK PERFORMED BY CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH BUILDING RULES REGARDING SUCH WORK, AS PROVIDED BY THE OWNER.

ABBREVIATIONS

- ABOVE FINISHED FLOOR A.F.F.
- ACCESS PANEL A.P.
- ADJACENT ADJ.
- AIR CONDITIONER A.C.
- ALUMINUM ALUM.
- ARCHITECTURAL ARCH.
- BLOCK BLK.
- BOARD B.D.
- BOTTOM OF BOTTOM OF CATCH BASIN B.O.
- BOTTOM OF CURB B.C.B.
- BOTTOM OF WALL B.W.
- BUILDING BLDG.
- CABINET CAB.
- CEILING CLG.
- CEILING HEIGHT C.H.
- CENTERLINE C.L.
- CENTERPOINT C.P.
- CERAMIC TILE C.T.
- CLOSET COL.
- COLUMN CONC.
- CONCRETE CONCRE.
- CONCRETE MASONRY UNIT CMU.
- CONTINUOUS CONT.
- CONTROL JOINT C.J.
- DIAMETER DIA.
- DOWN DN.
- ELEVATION ELEV.
- EQUA. EQ.
- EXISTING EXIST.
- EXPANSION JOINT E.J.
- EXTERIOR FINISH EXT. FIN.
- FINISH FLOOR FIN. FL.
- FLOOR FL.
- FLOOR DRAIN F.D.
- FLOURESCENT FOOT/FEET FLUOR. FT.
- GALVANIZED GALV.
- GYPSUM WALL BOARD G.W.B.
- HARDWARE HDWR.
- HEIGHT HT.
- HOLLOW METAL H.M.
- HORIZONTAL HORIZ.
- INSULATION INSUL.
- INTERIOR INT.
- LAMINATED LAM.
- LEFT HAND L.H.
- LEFT HAND REVERSE BEVEL LHRB.
- MASONRY OPENING M.O.
- MAXIMUM MAX.
- MECHANICAL MECH.
- META MTL.
- MINIMUM MIN.
- MOUNTED MTD.
- NOMINAL NOM.
- NOT IN CONTRACT N.I.C.
- NOT TO SCALE N.T.S.
- ON CENTER O.C.
- OPPOSITE OPP.
- PAINTED PTD.
- PERFORATED PERF.
- PLASTIC LAMINATE P.LAM.
- PLYWOOD PLYWD.
- QUANTITY QTY.
- RADIUS RAD.
- REQUIRED REQ'D.
- REINFORCING REINF.
- RIGHT HAND R.H.
- RIGHT HAND REVERSE BEVEL RHRB.
- ROOF DRAIN R.D.
- ROUGH OPENING R.O.
- SCHEDULE SCHED.
- SECTION SECT.
- SIMILAR SIM.
- SQUARE FOOT S.F.
- STAINLESS STEEL S.S., ST.STL.
- STEEL S.TL.
- STRUCTURAL/STRUCTURE STRUCT.
- SUSPENDED SUSP.
- TELEPHONE TEL.
- TOP OF TOP OF CATCH BASIN T.O.
- TOP OF CURB T.C.B.
- TOP OF WALL T.C.
- TYPICAL TYP.
- VERIFY IN FIELD V.I.F.
- VERTICAL VERT.
- VINYL COMPOSITE TILE V.C.T.
- UTILITY UTIL.
- WATER CLOSET W.C.
- WITH W/
- WITHOUT W/O
- WOOD WD.

SYMBOLS & MATERIAL LEGEND

- NEW CONSTRUCTION
- EXISTING TO BE DEMOLISHED
- NOT IN CONTRACT/EXISTING TO REMAIN
- BRICK
- CARPET
- CMU
- CONCRETE-FINISH
- CONCRETE ROUGH
- PRECAST CONCRETE
- EARTH
- FIBERGLASS BOARD
- GRAVEL
- GROUT
- GWB
- INSULATION, BATT
- INSULATION, ROUGH
- MDF
- STEEL
- ALUMINUM
- BRASS/BRONZE
- MEMBRANE VAPOR BARRIER & ADHESIVE
- MEMBRANE MOISTURE BARRIER & ADHESIVE
- PLYWOOD
- VINYL COMPOSITION TILE
- CERAMIC TILE
- ACOUSTICAL TILE
- SPRAY ON FIREPROOFING
- STONE
- TERRAZZO
- ROUGH WOOD BLOCKING
- SHIM/WOOD BLOCKING
- WOOD FINISH
- LAMINATED GLASS
- SEALANT W/ BACKER ROD
- EQUIPMENT TAG
- MATERIAL IDENTIFICATION
- INTERIOR ELEV. IDENTIFICATION
- WINDOW ID.
- DOOR ID.
- REVISION ID. SYMBOL
- ROOM IDENTIFIER
- NORTH ARROW
- DETAIL SECTION ID.
- WALL TYPE I.D.
- COLUMN GRID ID. TAGS
- BUILDING ELEVATION ID. TAGS
- SMOKE AND CARBON MONOXIDE DETECTOR

PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

**P K
S B**

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC

689 Fifth Avenue, 4th Floor
New York, NY 10022

tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.

501 Fifth Avenue, Suite 1702
New York, NY 10017

tel (212) 869 8844 fax (212) 869 6977

STRUCTURAL ENGINEER

LAWLESS & MANGIONE, LLP

480 N. Broadway
Yonkers, NY 10701

tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

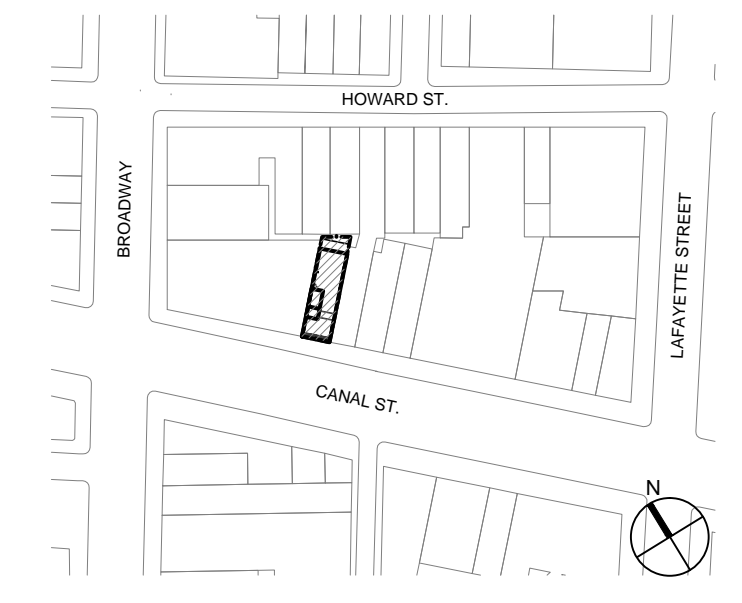
PLUS GROUP, PLLC

32 Broadway, Suite 1601
New York, NY 10004

tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

KEY PLAN



SEAL & SIGNATURE

DOB STAMP/SCAN

| Revision | Date | Remarks |
|----------|------------|-----------------------------|
| | 03-08-2018 | - INITIAL FILING SET TO DOB |
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Drawing Title

GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS

| PROJECT NO. | DRAWING NO. |
|-----------------|-------------|
| 1717 | |
| DATE | |
| 03/08/18 | |
| SCALE | |
| AS NOTED | |
| DRAWN / CHECKED | |
| FC/SP | |

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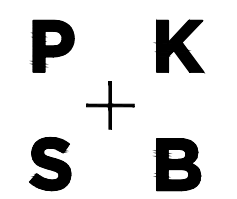
SHEETS IN DOB SET

PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT



330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC
689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.
501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER

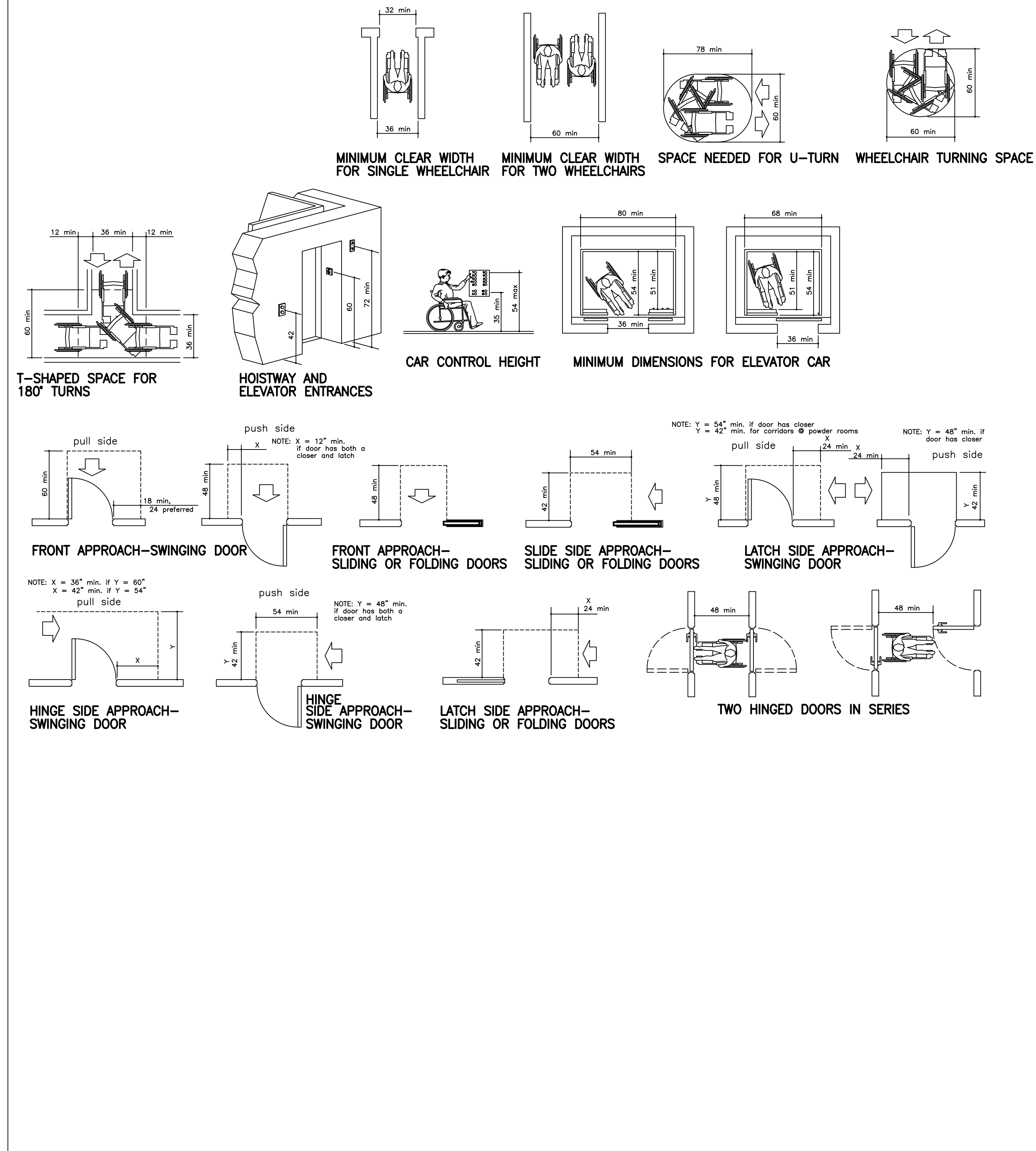
LAWLESS & MANGIONE, LLP
480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

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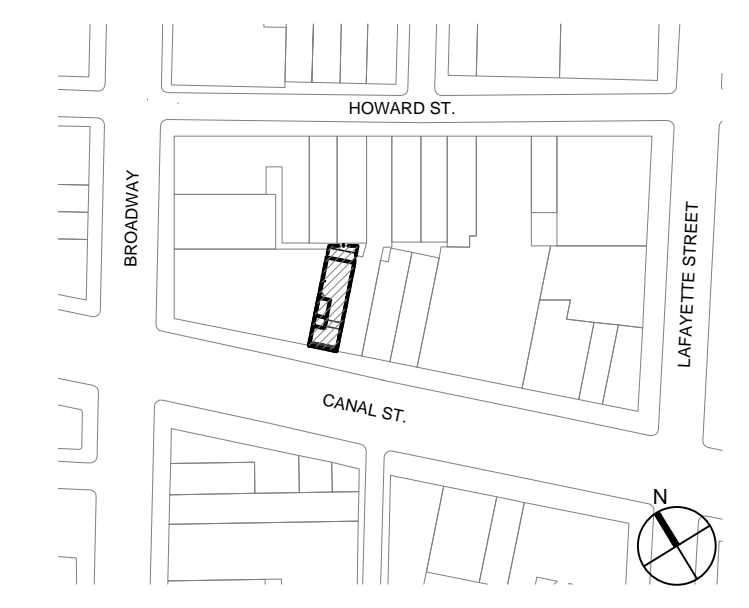
PLUS GROUP, PLLC
32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

LL 58/87 ACCESSIBLE DETAILS



KEY PLAN



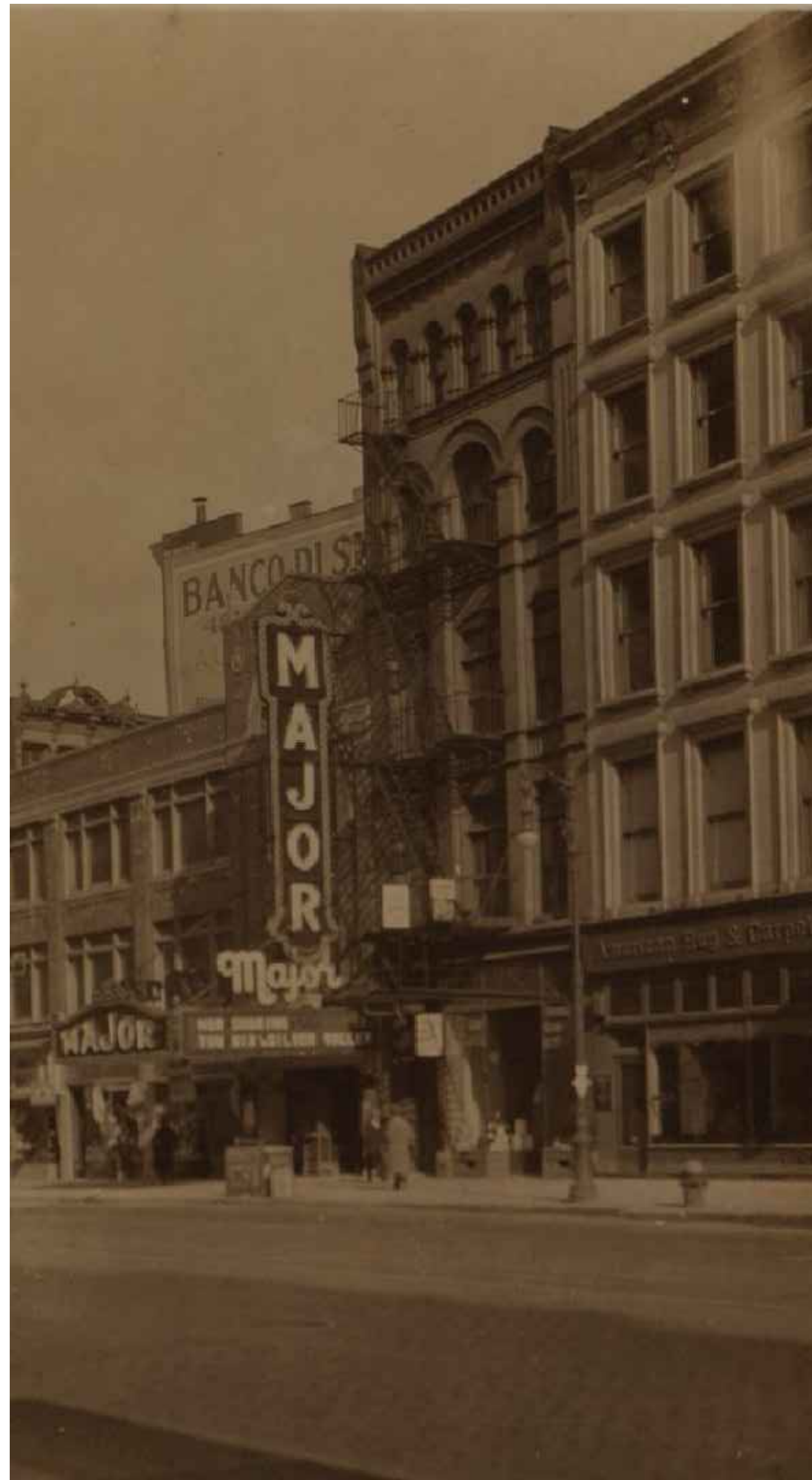
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| Revision | Date | Remarks |
|----------|------------|---------------------------|
| | 03-08-2018 | INITIAL FILING SET TO DOB |

TYPICAL ADA DETAILS

| PROJECT NO. | DRAWING NO. |
|-----------------|-------------|
| 1717 | A-003.00 |
| DATE | |
| 03/08/18 | |
| SCALE | |
| AS NOTED | |
| DRAWN / CHECKED | |
| FC/SP | |



PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

**P K
+
S B**

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC

689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.

501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER

LAWLESS & MANGIONE, LLP

480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

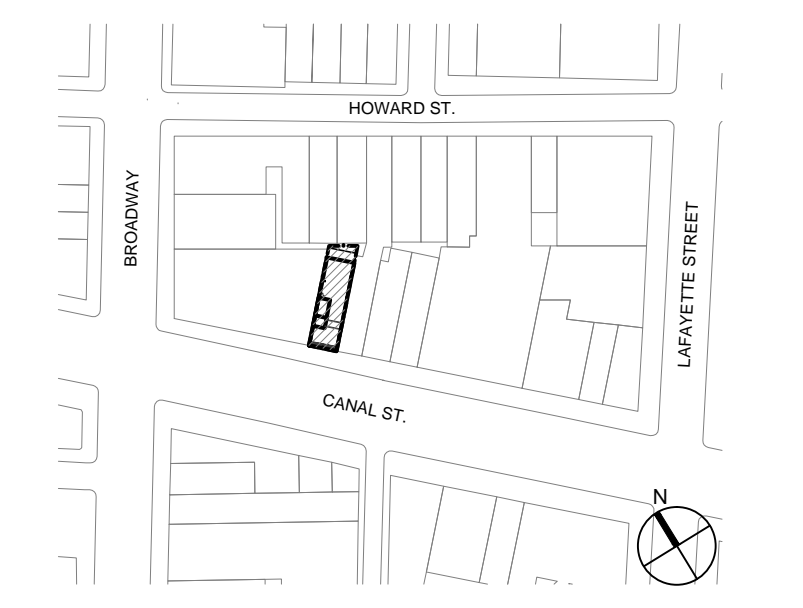
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PLUS GROUP, PLLC

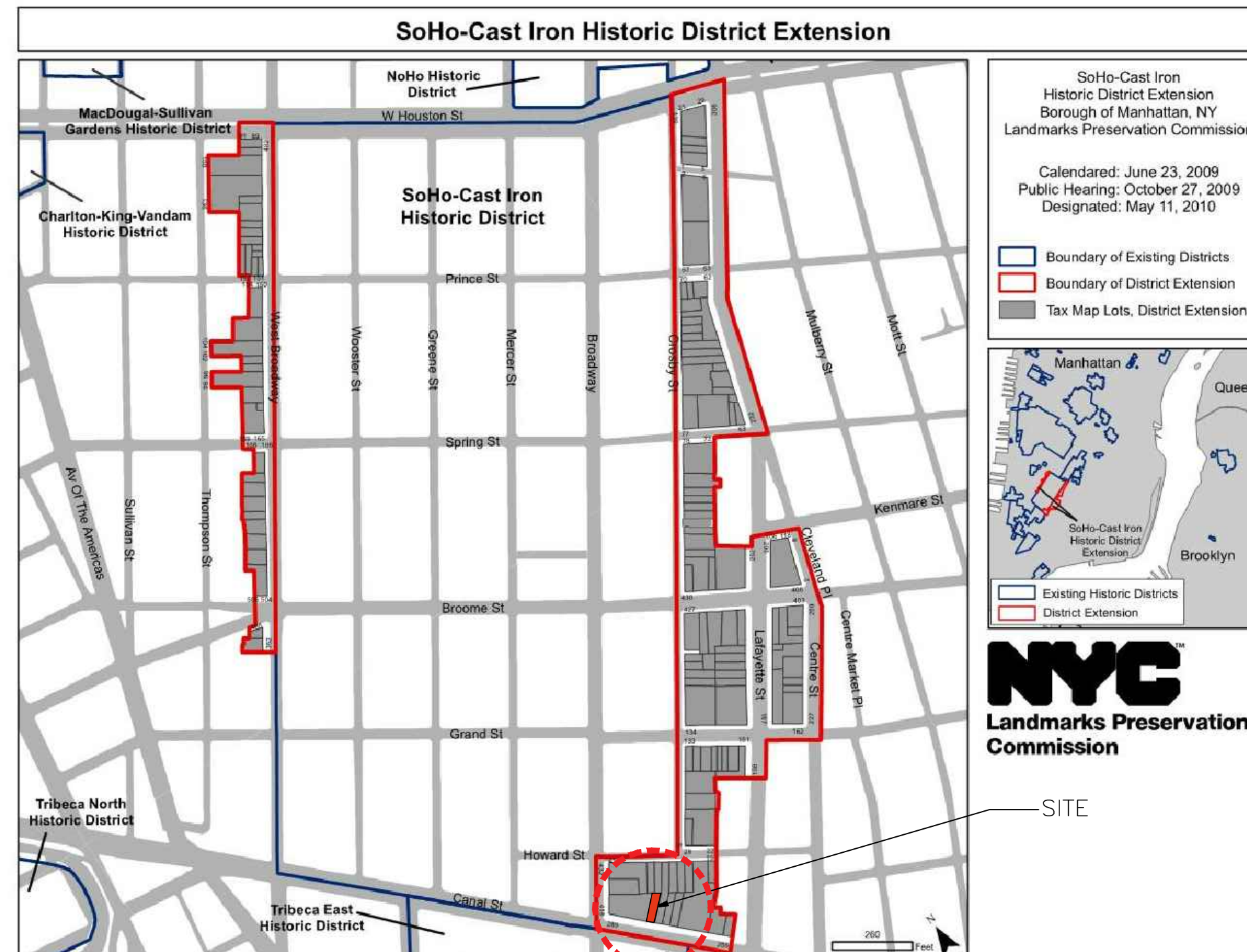
32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

KEY PLAN



SEAL & SIGNATURE



275 CANAL STREET
BLOCK: 209
LOT: 35

DATE OF CONSTRUCTION: 1878
ARCHITECT: CHARLES HAIGHT
ORIGINAL FUNCTION: COMMERCIAL/INDUSTRIAL
CURRENT FUNCTION: COMMERCIAL/INDUSTRIAL
STYLE: QUEEN ANNE
STORIES: 5
STRUCTURE/MATERIAL: BRICK

ORIGINAL OWNER: H.E. PELLER

HISTORICAL DESIGNATION STATEMENT: FIVE STORY, QUEEN ANNE-STYLE LOFT BUILDING DESIGNED BY ARCHITECT CHARLES HAIGHT AND WAS BUILT IN 1878 FOR H.E. PELLER AT A TIME WHEN LARGE FACTORIES AND STORE BUILDINGS WERE BEING BUILT ALONG THE STREETS PARALLEL TO BROADWAY, TRANSFORMING THE AREA FROM THE CITY'S ENTERTAINMENT DISTRICT TO A CENTER FOR THE MERCANTILE AND DRY GOOD TRADE. THE BUILDING'S VARIETY OF ARCHES AND FACADE MATERIALS ARE CHARACTERISTICS OF THE QUEEN ANNE STYLE AS APPLIED TO COMMERCIAL BUILDINGS. THE CURRENT GROUND-FLOOR FACADE HAS BEEN UNSYMPATHETICALLY ALTERED, BUT THE UPPER STORIES AND CORNICE ARE REMARKABLY INTACT. THE BUILDING WAS OCCUPIED BY A VARIETY OF COMMERCIAL INTERESTS OVER THE YEARS, INCLUDING A RIBBON IMPORTER (1879); OFFICE FURNITURE STORE (1908); WHOLESALE FURNITURE (1935); OVERSTOCK MERCHANT (1945); DRUG JOBBING, PRINTER, CLEANING SUPPLIES, AND DRUG STORAGE (1946-1947); AND DRUG STORE (1961). NO. 275 CANAL STREET, WHICH REMAINS IN COMMERCIAL USE, IS EVOCATIVE OF THE ESTABLISHMENT OF THE SOHO AREA AS NEW YORK CITY'S PRIME DRY GOODS BUSINESS DISTRICT IN THE MID-NINETEENTH CENTURY AND ITS CONTINUING IMPORTANCE IN THE TWENTIETH CENTURY AS THE LOCATION OF SMALL FACTORIES AND WAREHOUSES.

DOB STAMP/SCAN

| Revision | Date | Remarks |
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| | 03-08-2018 | INITIAL FILING SET TO DOB |

Drawing Title

**HISTORICAL STUDY,
TAX PHOTOS, AND
DESIGNATION**

| PROJECT NO. | DRAWING NO. |
|-----------------|-------------|
| 1717 | |
| DATE | |
| 03/08/18 | |
| SCALE | |
| AS NOTED | |
| DRAWN / CHECKED | |
| FC/SP | |

LPC-001



01 OVERALL EXISTING BUILDING VIEW



03 EXISTING CORNICE/SIGNBAND ABOVE STOREFRONT



06 EXISTING ELEVATOR LOBBY ENTRY



02 MAIN ELEVATOR LOBBY DOOR



04 EXISTING ROLL DOWN GATES AND RETAIL VIEW (CLOSED)



05 EXISTING ROLL DOWN GATES AND RETAIL VIEW (OPEN)



07 EXISTING ROLL DOWN DOOR

PROJECT
275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

P K
S B

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC
689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.
501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER

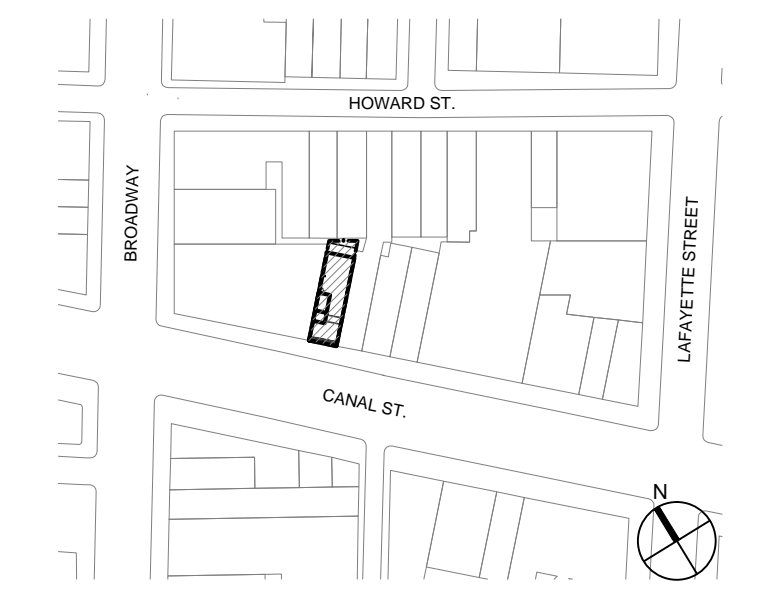
LAWLESS & MANGIONE, LLP
480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

PLUS GROUP, PLLC
32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

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Revision Date Remarks

Drawing Title

EXISTING STOREFRONT
CONDITIONS AND VIEWS

PROJECT NO.

1717

DATE

03/08/18

SCALE

AS NOTED

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FC/SP

DRAWING NO.

LPC-002

SHEETS IN DOB SET
05 of 15



TYPICAL 2ND FLOOR CLAD WINDOW HEAD AND JAMB



TYPICAL 2ND FLOOR CLAD WINDOW HEAD AND JAMB



TYPICAL 2ND FLOOR CLAD WINDOW HEAD AND JAMB



275 CANAL FROM ACROSS CANAL STREET



EXISTING BUILDING FACADE WINDOW CLOSE-UP



EXISTING BUILDING FACADE

PROJECT
275 CANAL ST
 275 CANAL STREET
 NEW YORK, NY 10013

ARCHITECT
P K + S B
 330 W42 Street
 New York, NY 10036
 tel 212 594 2010
 fax 212 947 4381

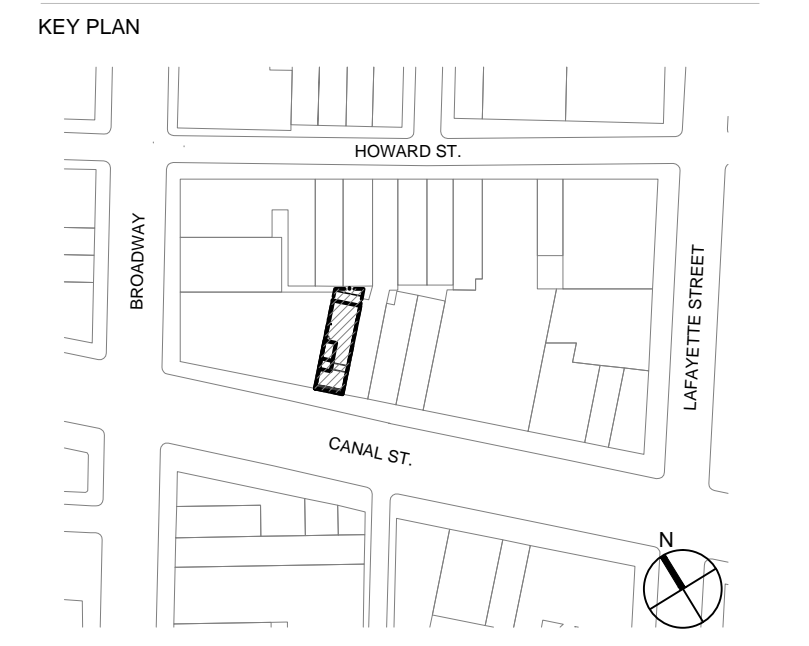
OWNER
 275 CANAL, SPE LLC
 689 Fifth Avenue, 4th Floor
 New York, NY 10022
 tel (212) 879 0500

OWNER'S REPRESENTATIVE
 DAVID J. SPECTOR ASSOCIATES, INC.
 501 Fifth Avenue, Suite 1702
 New York, NY 10017
 tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER
 LAWLESS & MANGIONE, LLP
 480 N. Broadway
 Yonkers, NY 10701
 tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER
 PLUS GROUP, PLLC
 32 Broadway, Suite 1601
 New York, NY 10004
 tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR



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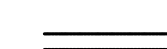
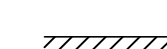

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EXISTING WINDOW CONDITIONS AND VIEWS

| | |
|--------------------------|-------------------------------|
| PROJECT NO. 1717 | DRAWING NO. LPC-003 |
| DATE 03/08/18 | |
| SCALE AS NOTED | |
| DRAWN / CHECKED FC/SP | |

DEMOLITION LEGEND:

-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO BE REMOVED

NOTE:
BUILDING WILL BE VACANT DURING DEMOLITION AND CONSTRUCTION.

REFER TO DM SERIES DRAWINGS (SEPARATE APPLICATION) FOR MEANS, METHODS, AND SEQUENCE OF DEMOLITION.

GENERAL DEMOLITION NOTES:

1. EXISTING CONDITIONS:

- A. THE INFORMATION SHOWN ON THESE DRAWINGS ARE BASED ON SITE VISITS, SURVEYS, ORIGINAL DESIGN DRAWINGS AND SKETCHES AVAILABLE TO THE ARCHITECT. THE DRAWINGS MAY NOT REPRESENT EXISTING CONDITIONS ACCURATELY. THE LOCATION OF MANY OTHER INTERIOR DETAILS SUCH AS ELECTRICAL, LIGHTING, PLUMBING, AND MECHANICAL BUILDING EQUIPMENT MAY NOT BE SHOWN. PRIOR TO DEMOLITION, THE CONTRACTOR SHOULD VERIFY DEMOLITION QUANTITIES BY FIELD SURVEY METHODS.
- B. DURING THE COURSE OF DEMOLITION, THE DISCOVERY OF MATERIALS SUSPECTED TO BE HAZARDOUS, CONTAMINATED OR TOXIC SHALL BE CAUSE FOR THE CONTRACTOR TO IMMEDIATE CEASE DEMOLITION ACTIVITIES IN THAT AREA. THE PRESENCE OF UNKNOWN, SUSPECT MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE. DEMOLITION ACTIVITIES SHALL NOT RESUME IN THE EFFECTED AREA UNTIL THE MATERIALS HAVE BEEN IDENTIFIED AND ABATED AS APPLICABLE AND/OR REQUIRED BY REGULATION. THE OWNER'S REPRESENTATIVE WILL NOTIFY THE CONTRACTOR WHEN DEMOLITION ACTIVITIES MAY RESUME IN THAT LOCATION.
- C. CONTRACTOR SHALL EXAMINE AND FIELD VERIFY ALL EXISTING AND GIVEN DIMENSIONS AND CONDITIONS WITH THOSE SHOWN ON THE PLANS. IN CASE OF ANY DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ARCHITECT.
- D. DEMOLITION SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER, WITHOUT UNNECESSARY NOISE, DUST AND OTHER DISTURBANCES TO OCCUPIED AREAS.
- E. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- F. MAINTAIN SAFE LEGAL AND PROPER EGRESS AND ACCESS AT ALL TIMES.
- G. NOISE, DUST, AND DEBRIS SHALL BE MINIMIZED AND CONTAINED WITHIN THE AREA OF CONSTRUCTION.

2. DUST AND DEBRIS CONTAINMENT/ CONTROL MEASURES:

- A. THE CONTRACTOR SHALL UTILIZE INDUSTRY STANDARD MEANS AND METHODS TO MINIMIZE THE GENERATION AND DISBURSEMENT OF DUST. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL REGULATIONS PERTAINING TO DUST CONTROL AND EMISSIONS FROM DEMOLITIONS SITES WITHIN NEW YORK CITY, NEW YORK STATE, AND FEDERAL JURISDICTION.
- B. ALL CARTS AND DEBRIS MUST BE COVERED AND SEALED TIGHTLY DURING TRANSPORT.
- C. DURING REMOVAL OF GYPSUM WALLS, WATER SPRAY WILL BE USED TO MINIMIZE DUST.

3. DUST AND DEBRIS REMOVAL/ CONTROL MEASURES:

- A. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS GENERATED BY THE DEMOLITION OPERATION IN A SAFE AND LEGAL MANNER.
- B. CONTAINERIZATION OF WASTES SHALL BE IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE DEPARTMENT OF TRANSPORTATION (DOT) REGULATIONS.
- C. NOISE, DUST, AND DEBRIS SHALL BE MINIMIZED AND CONTAINED WITHIN THE AREA OF CONSTRUCTION.
- D. MOVEMENT OF DEBRIS AND CONSTRUCTION MATERIALS THROUGH THE BUILDING SHALL BE ALONG ROUTES AND AT TIMES DESIGNATED BY THE OWNER. DEBRIS SHALL BE REMOVED AS IT ACCUMULATES ON A DAILY BASIS OR MORE OFTEN IF THE VOLUME REQUIRES.
- E. AN AREA SHALL BE DESIGNATED BY THE OWNER FOR THE HOLDING OF CONSTRUCTION DEBRIS CONTAINERS. NO DEBRIS SHALL BE BROUGHT DOWN TO THE HOLDING AREA UNLESS ADEQUATE CONTAINERS ARE AVAILABLE. NO OVERFLOW TO ADJACENT AREAS IS PERMITTED. BEFORE CONTAINERS ARE BROUGHT TO AND FROM THE SITE AND AFTER PICK UP, THE CONTAINERS SHALL BE WASHED AND CLEANED SO AS TO PREVENT INSECT AND RODENT INFESTATION. DEBRIS SHALL NOT BE ACCUMULATED IN SUCH A MANNER AS TO CONSTITUTE A FIRE HAZARD
- F. DEBRIS AND CONTAINERS FOUND IN NONCOMPLIANCE WITH THESE REGULATIONS SHALL BE REMOVED FROM THE PREMISES. THE COST OF SUCH REMOVAL SHALL BE BACK-CHARGED TO THE CONTRACTOR.

4. EXECUTION:

- A. ALL DAMAGES RESULTING FROM DEMOLITION ARE TO BE REPAIRED.
- B. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL PARTITIONS, ELECTRICAL, TELEPHONE, PLUMBING AND MILLWORK MOLDINGS, TRIM AND PLASTER WORK WHICH ARE IN CONFLICT WITH NEW CONSTRUCTION AS WELL AS INDICATED ITEMS.
- C. CONTRACTOR IS TO REMOVE ANY LIGHT SWITCHES, ELECTRICAL OR TELEPHONE OUTLETS IN PARTITIONS OR BEHIND FINISHES DESIGNATED TO BE REMOVED.
- D. EXISTING CONDUITS AND CABLES IN PARTITIONS TO BE REMOVED ARE TO BE IDENTIFIED FOR SOURCE AND FUNCTION; ABANDONED LINES ARE TO BE REMOVED AT SOURCE. RE-USE OF EXISTING EMBEDDED CONDUIT WILL BE DONE AT CONTRACTOR'S DISCRETION.
- E. CONTRACTOR TO REMOVE AND CAP ALL EXISTING PLUMBING LINES WHERE NEEDED.
- F. ALL FLOOR OPENINGS RESULTING FROM REMOVALS, IE. FIXTURES ETC., SHALL BE CLOSED IMMEDIATELY.
- G. ALL DRAIN PIPING SHALL BE CAPPED PRIOR TO THE START OF DEMOLITION.
- H. THE CONTRACTOR SHALL MAKE PROVISIONS FOR STANDBY TRADES REQUIRED FOR HIS WORK DURING NORMAL WORKING HOURS, ON OVERTIME AND ON HOLIDAYS.
- I. THE CONTRACTOR SHALL PROVIDE HIS OWN TEMPORARY LIGHTING AND POWER.
- J. SHOULD THE CONTRACTOR SUFFER DELAYS RESULTING FROM STRIKES OR LOCK OUT, THE TIME FOR COMPLETION OF THE PROJECT SHALL BE EXTENDED ONLY BY THE AMOUNT OF TIME EQUIVALENT TO THE DELAY.

PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

**P K
+
S B**

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC

689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.

501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER

LAWLESS & MANGIONE, LLP

480 N. Broadway
Yonkers, NY 10701
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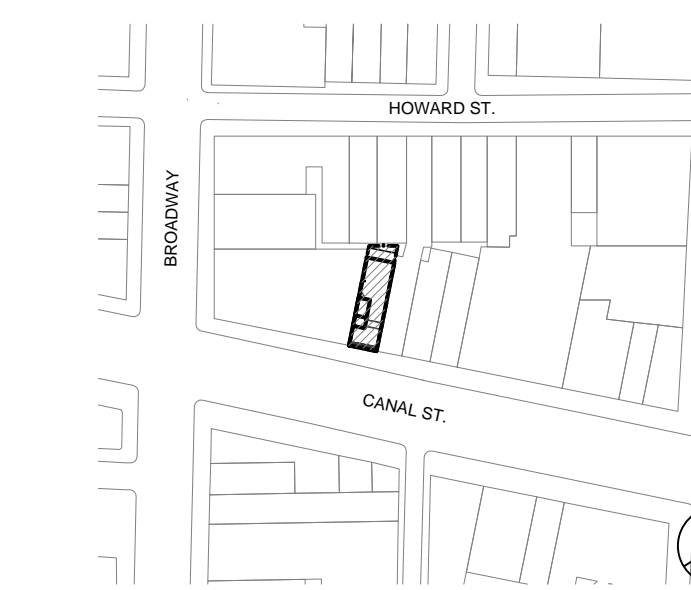
MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

PLUS GROUP, PLLC

32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

KEY PLAN



SEAL & SIGNATURE

DOB STAMP/SCAN

03-08-2018 - INITIAL FILING SET TO DOB

| Revision | Date | Remarks |
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Drawing Title

DEMOLITION NOTES

PROJECT NO.

1717

DATE

03/08/18

SCALE

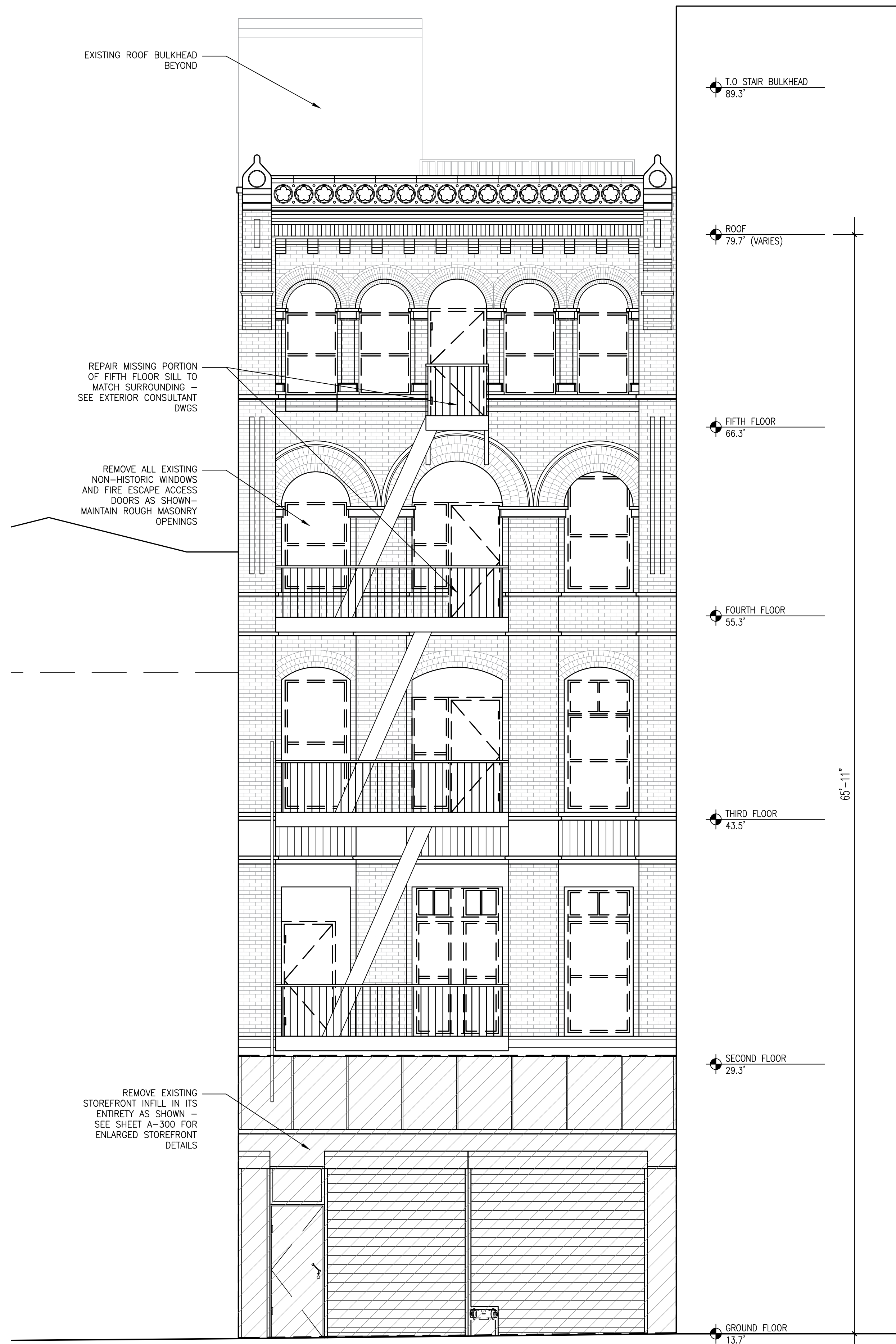
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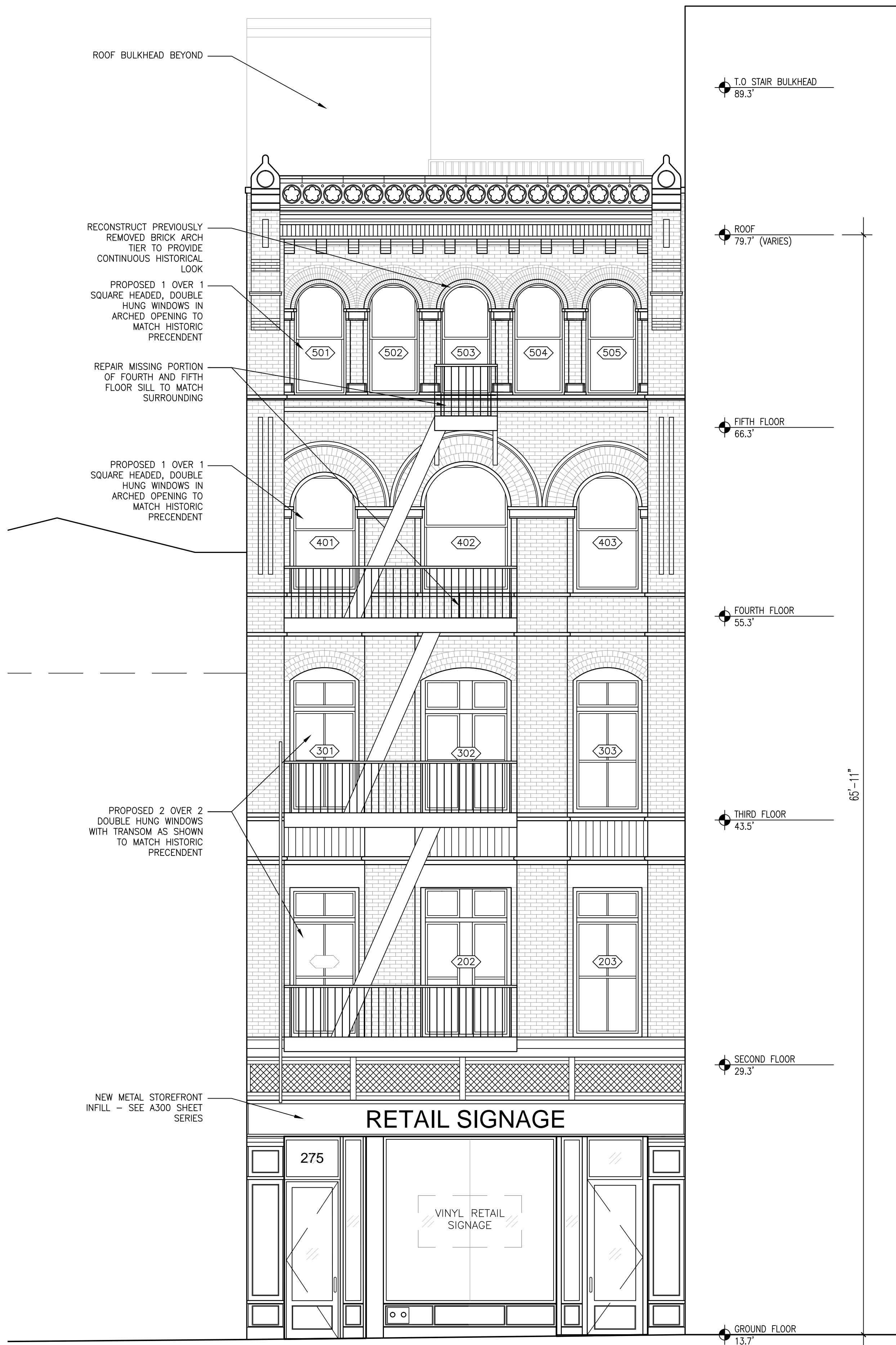
FC/SP

DRAWING NO.

D-001.00



01 EXISTING CANAL STREET ELEVATION
1/4" = 1'-0"



02 PROPOSED CANAL STREET ELEVATION
1/4" = 1'-0"

PROJECT
275 CANAL ST
275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT
P K + S B
330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

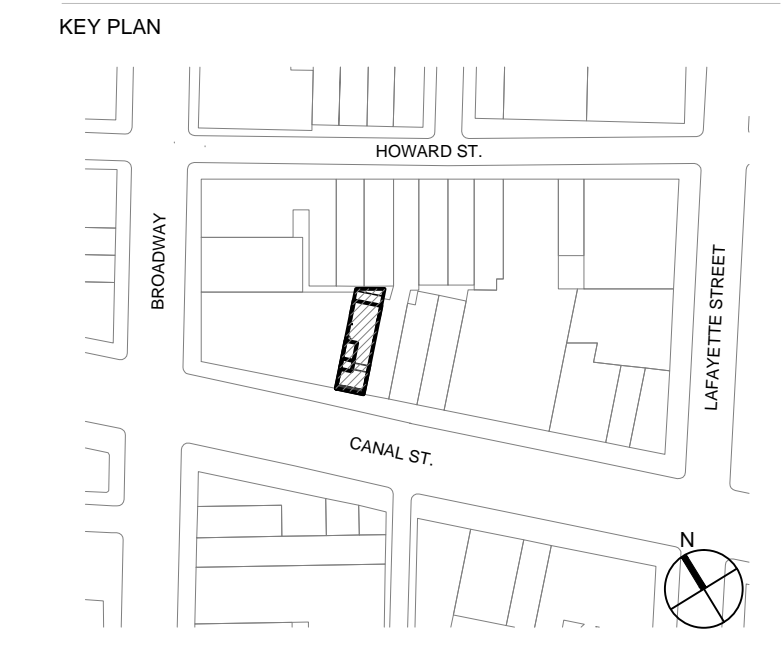
OWNER
275 CANAL, SPE LLC
689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

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DAVID J. SPECTOR ASSOCIATES, INC.
501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER
LAWLESS & MANGIONE, LLP
480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER
PLUS GROUP, PLLC
32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR



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**EXISTING AND PROPOSED
CANAL STREET ELEVATIONS**

| | |
|--------------------------|--------------------------------|
| PROJECT NO. 1717 | DRAWING NO. A-200.00 |
| DATE 03/08/18 | SCALE AS NOTED |
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PROJECT
275 CANAL ST
 275 CANAL STREET
 NEW YORK, NY 10013

ARCHITECT
**P K
 +
 S B**
 330 W42 Street
 New York, NY 10036
 tel 212 594 2010
 fax 212 947 4381

OWNER
275 CANAL, SPE LLC
 689 Fifth Avenue, 4th Floor
 New York, NY 10022
 tel (212) 879 0500

OWNER'S REPRESENTATIVE
DAVID J. SPECTOR ASSOCIATES, INC.
 501 Fifth Avenue, Suite 1702
 New York, NY 10017
 tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER
LAWLESS & MANGIONE, LLP
 480 N. Broadway
 Yonkers, NY 10701
 tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER
PLUS GROUP, PLLC
 32 Broadway, Suite 1601
 New York, NY 10004
 tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR



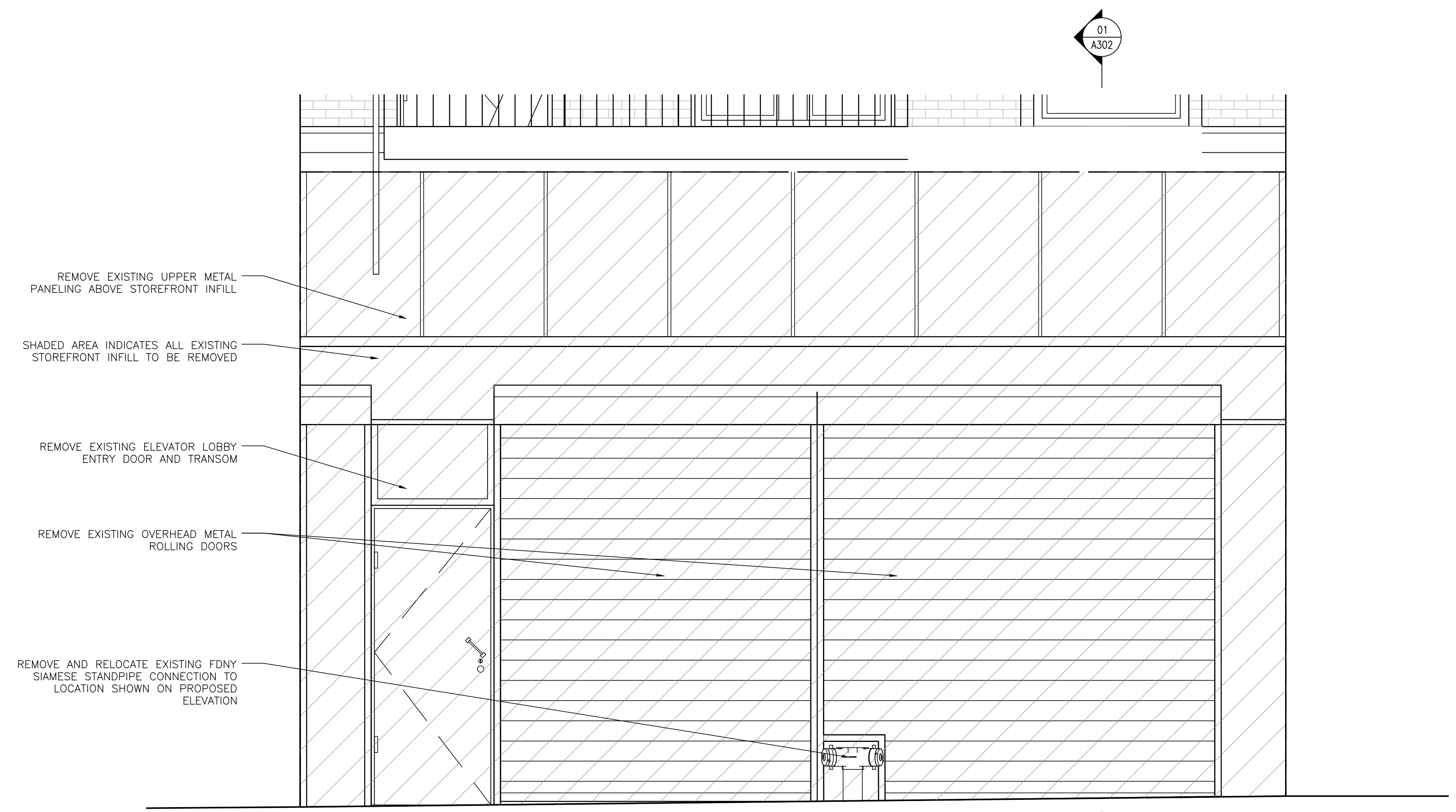
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EXISTING AND PROPOSED ENLARGED STOREFRONT ELEVATIONS

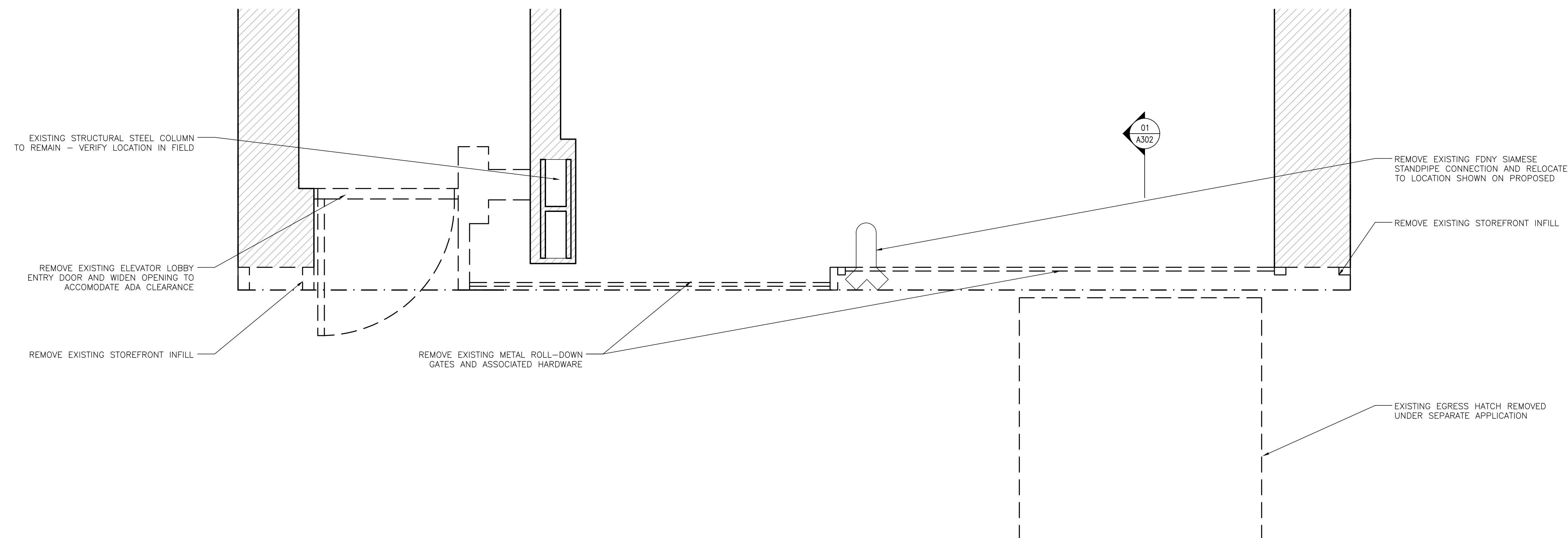
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| PROJECT NO. 1717 | DRAWING NO. A-300.00 |
| DATE 03/08/18 | SCALE AS NOTED |
| DRAWN / CHECKED FC/SP | SHEETS IN DOB SET 09 of 15 |



01 EXISTING ENLARGED STOREFRONT ELEVATION
 3/4" = 1'-0"



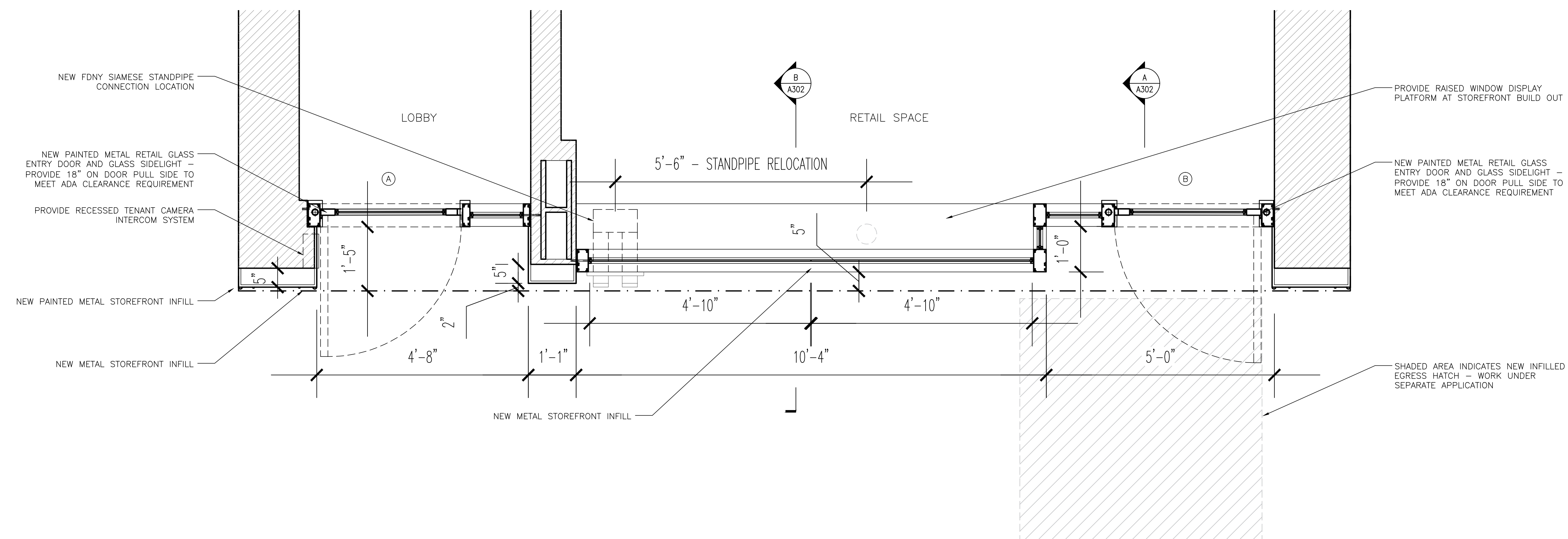
02 PROPOSED ENLARGED STOREFRONT ELEVATION
 3/4" = 1'-0"



01 EXISTING ENLARGED STOREFRONT PLAN
 3/4" = 1'-0"



SEAL & SIGNATURE



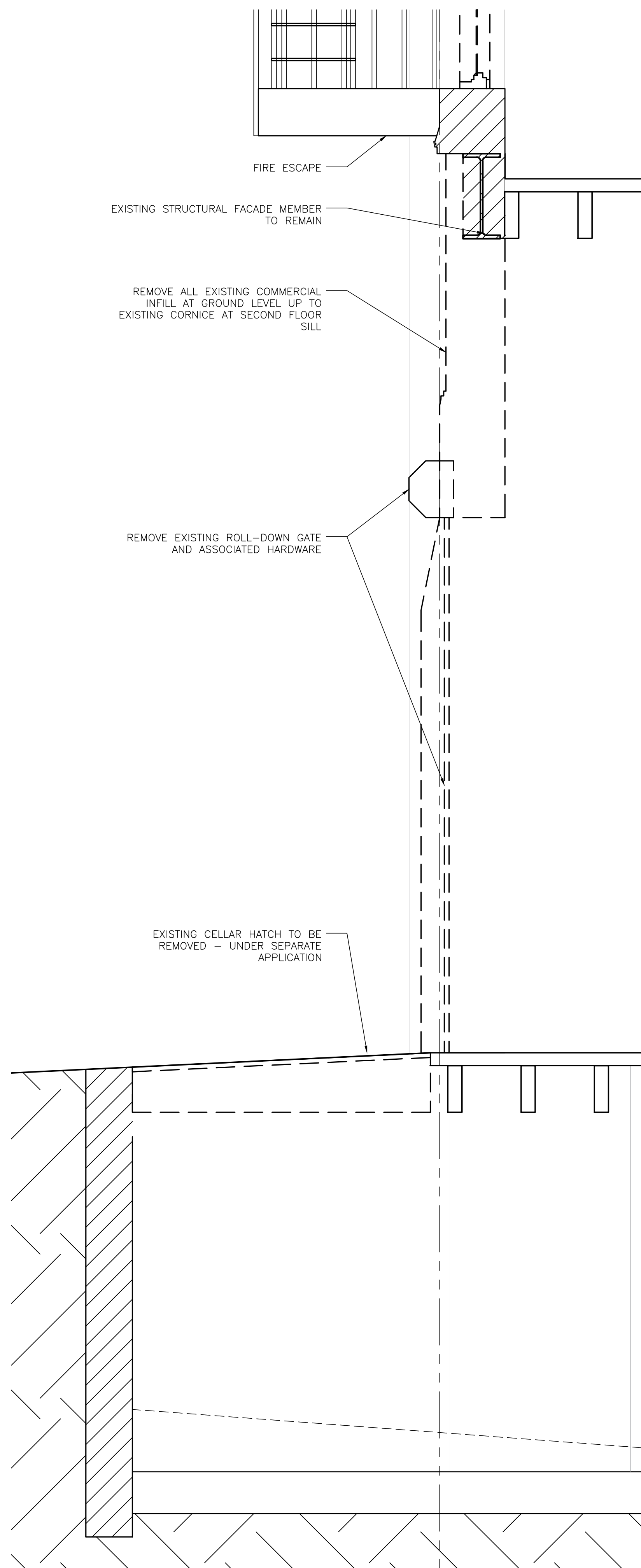
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 3/4" = 1'-0"

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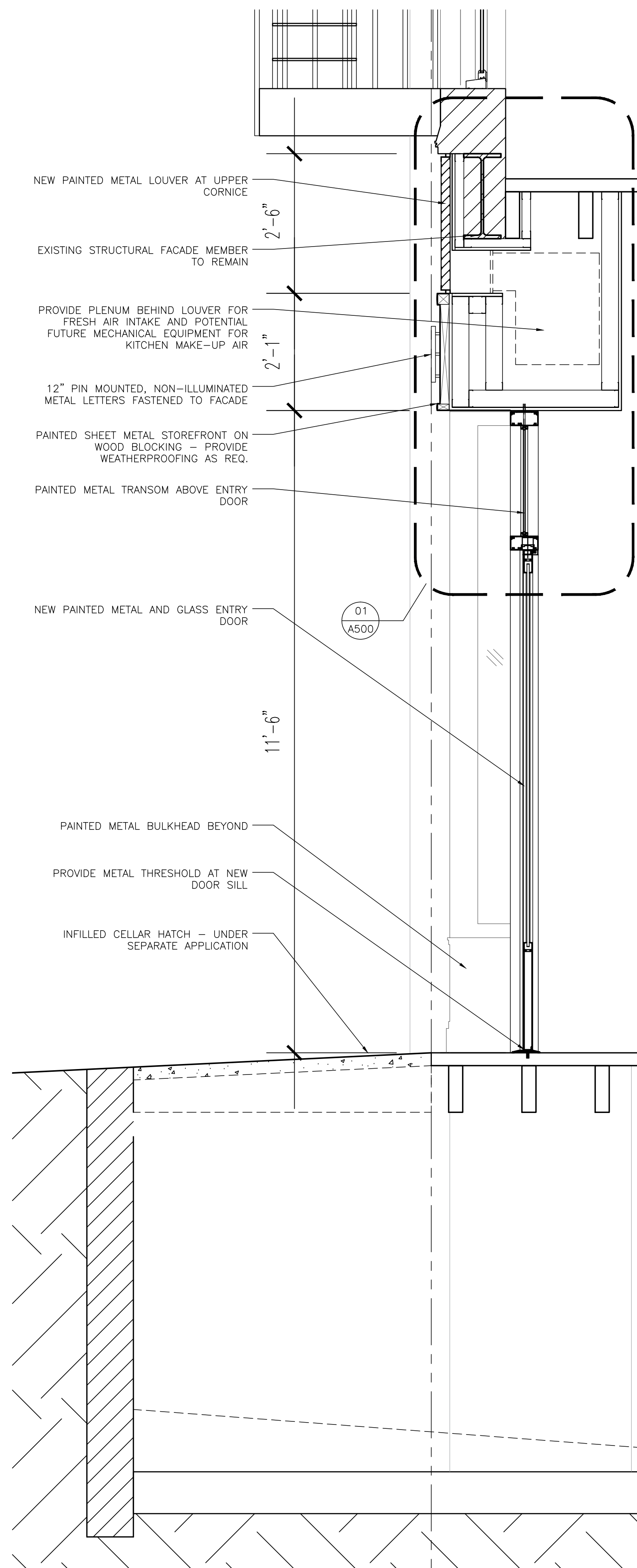
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EXISTING AND PROPOSED ENLARGED STOREFRONT PLANS

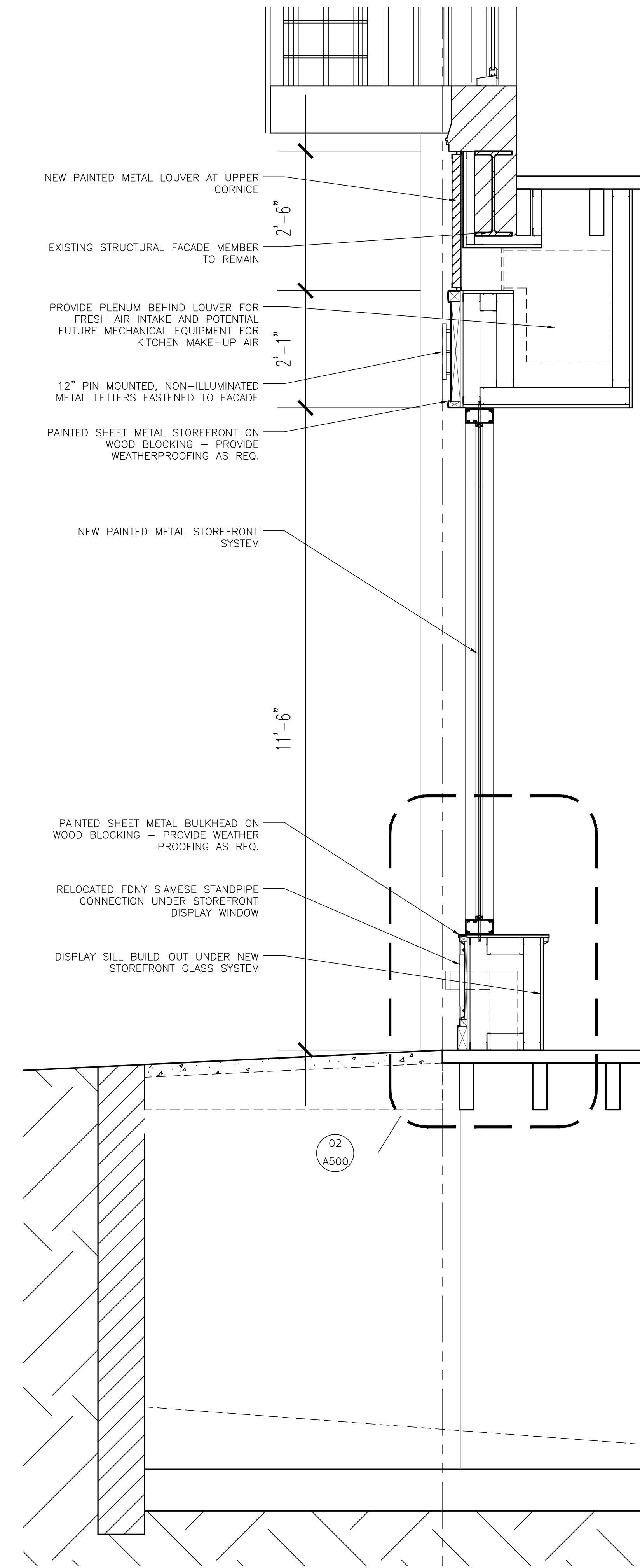
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01 EXISTING ENLARGED STOREFRONT SECTION
3/4" = 1'-0"



A PROPOSED ENLARGED STOREFRONT SECTION A
3/4" = 1'-0"



B PROPOSED ENLARGED STOREFRONT SECTION B
3/4" = 1'-0"

PROJECT
275 CANAL ST
275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT
P K S B
330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

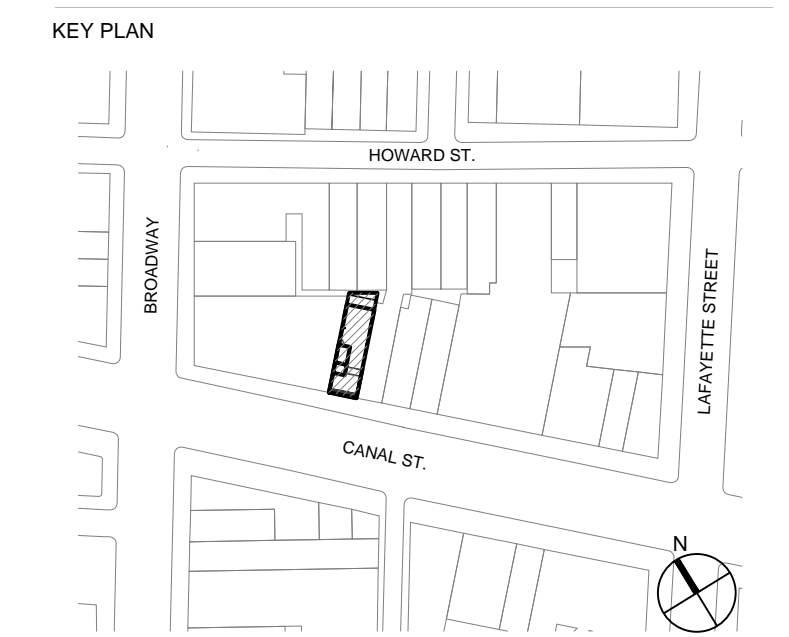
OWNER
275 CANAL, SPE LLC
689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE
DAVID J. SPECTOR ASSOCIATES, INC.
501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

STRUCTURAL ENGINEER
LAWLESS & MANGIONE, LLP
480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER
PLUS GROUP, PLLC
32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR



SEAL & SIGNATURE

DOB STAMP/SCAN

| Revision | Date | Remarks |
|----------|------------|---------------------------|
| | 03-08-2018 | INITIAL FILING SET TO DOB |

EXISTING AND PROPOSED ENLARGED STOREFRONT SECTIONS

| | |
|--------------------------|--------------------------------|
| PROJECT NO. 1717 | DRAWING NO. A-302.00 |
| DATE 03/08/18 | SCALE AS NOTED |
| DRAWN / CHECKED FC/SP | |

PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

P K
S B

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC
689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

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DAVID J. SPECTOR ASSOCIATES, INC.
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tel (212) 869 8200 fax (212) 869 6977

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480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

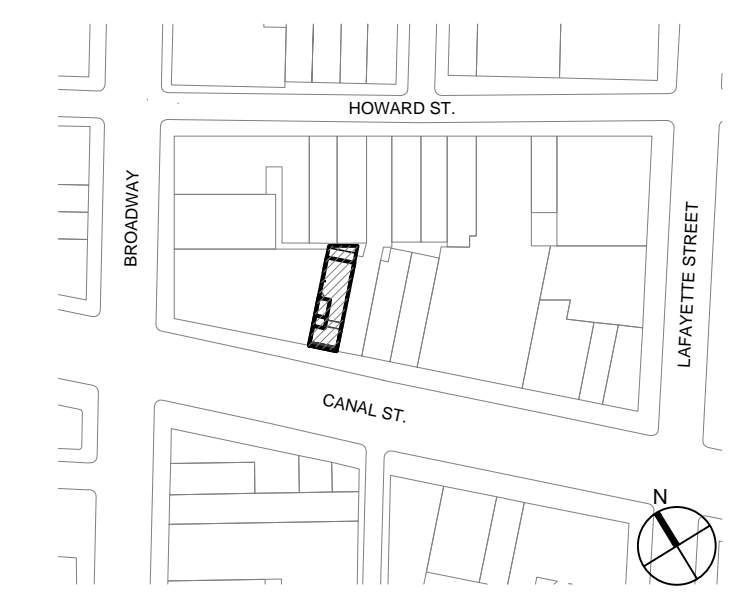
MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

PLUS GROUP, PLLC

32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

KEY PLAN



SEAL & SIGNATURE

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| Revision | Date | Remarks |
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| | | |

Drawing Title

ENLARGED STOREFRONT DETAILS

PROJECT NO.

1717

DATE

03/08/18

SCALE

AS NOTED

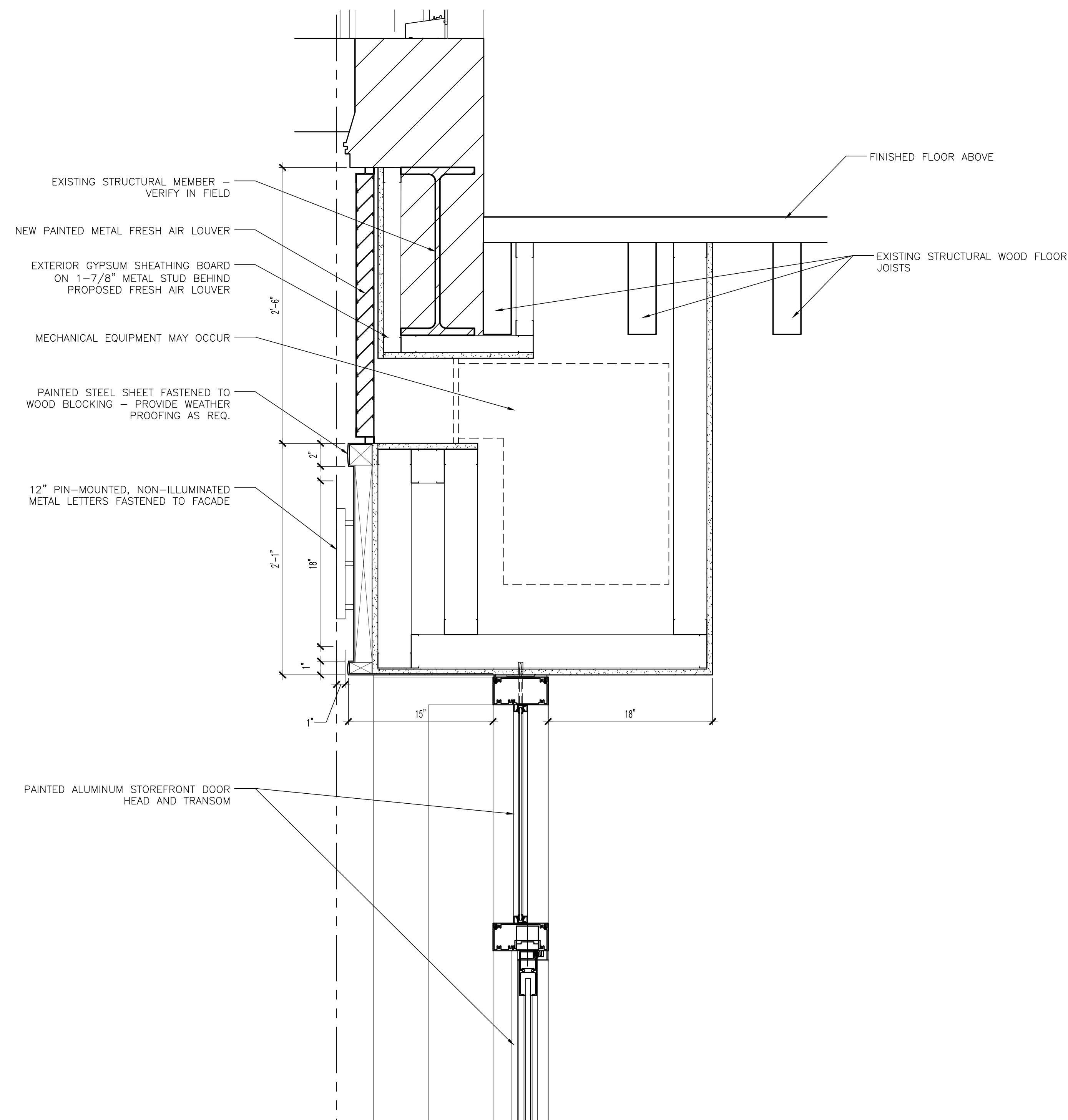
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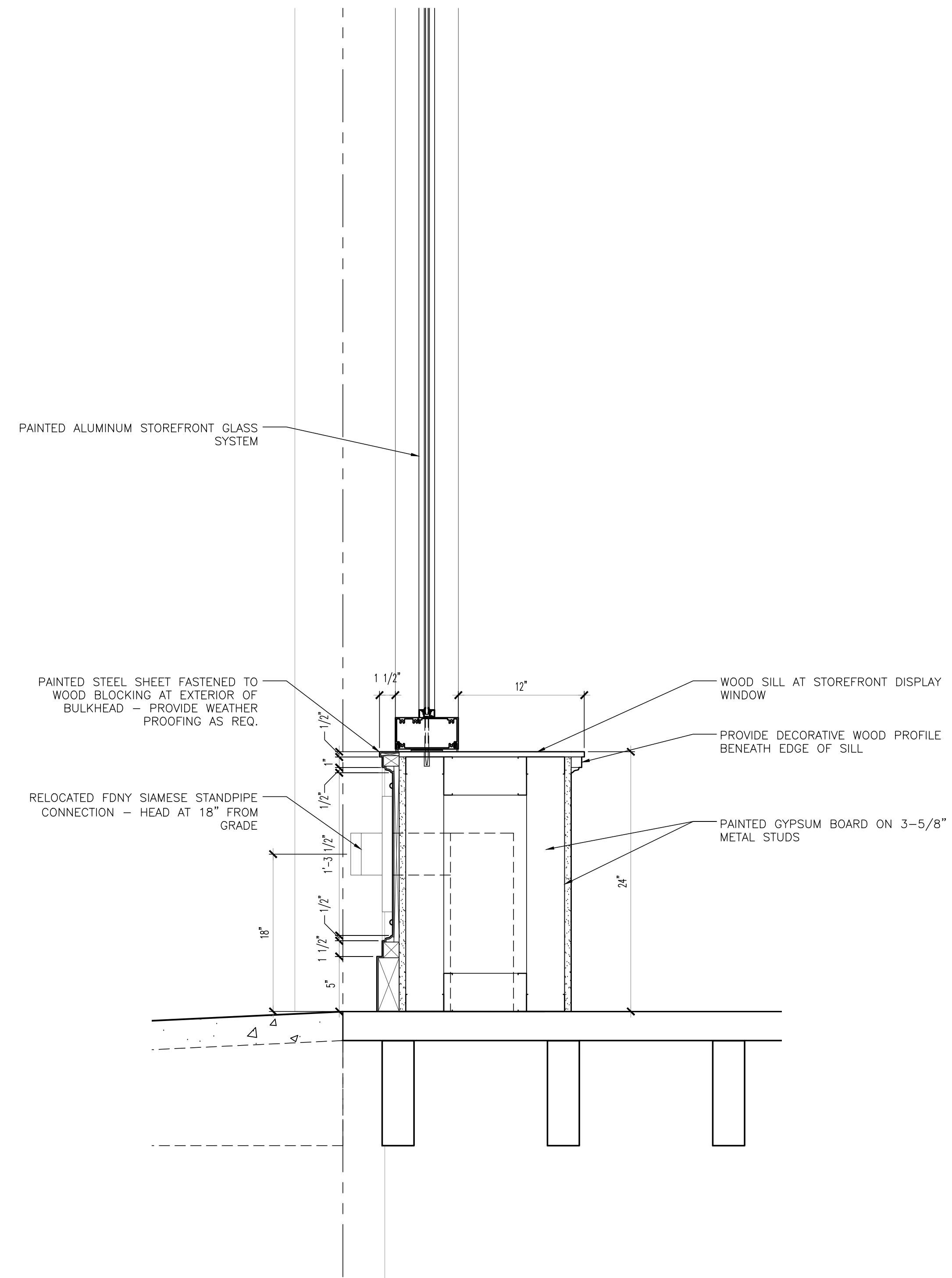
DRAWING NO.

A-500.00

SHEETS IN DOB SET
12 of 15

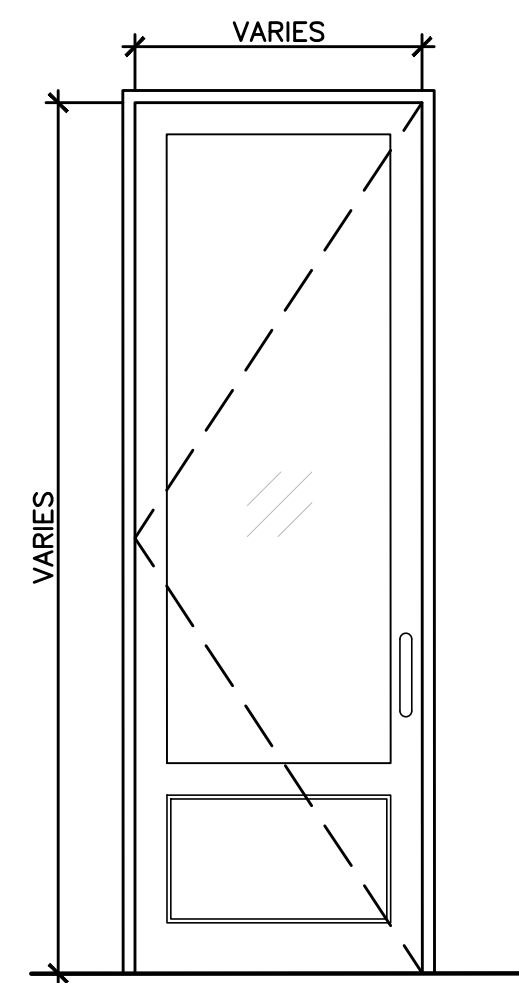


01 ENLARGED ENTRY DOOR AND TRANSOM DETAIL
1-1/2" = 1'-0"



02 ENLARGED STOREFRONT BULKHEAD DETAIL
1-1/2" = 1'-0"

DOOR AND FRAME TYPES



F EXTERIOR HOLLOW METAL AND GLASS DOOR
MIN. FIRE RATING: 1-1/2 HR.

DOOR SCHEDULE

| DOOR NO. | LOCATION | SIZE | | TYPE | DOOR MAT. | FRAME MAT. | FFSC HR. (min.) | HOW SET # | SADDLE | UNDER CUT | REMARKS |
|----------|--------------|---------------|--------|------|-----------|------------|-----------------|-----------|--------|-----------|---------------------------------|
| | | W x H | THK | | | | | | | | |
| A | LOBBY ENTRY | 3'-0" x 9'-1" | 1 1/2" | F | HM/GL | HM | 90 | D | METAL | 3/4" | PROVIDE APPROVED PAINTED FINISH |
| B | RETAIL ENTRY | 3'-3" x 9'-0" | 1 1/2" | F | HM/GL | HM | 90 | D | METAL | 3/4" | PROVIDE APPROVED PAINTED FINISH |

HARDWARE SCHEDULE

HARDWARE SETS:

HARDWARE SET D
CONVENIENCE DOORS

- BUTTS 1 1/2 PAIR 4 1/2"x4 1/2" MCKINNEY TB2314
- LOCKSET 1, SARGENT 8204 LW1B
- SURFACE MOUNTED DOOR CLOSER 1, LCN 4010
- OVERHEAD STOP WITHOUT HOLDER 1 GLYNN JOHNSON 80 SERIES HD
- SILENCERS 3 GLYNN JOHNSON 64

PROJECT

275 CANAL ST

275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT

**P K
+
S B**

330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

OWNER

275 CANAL, SPE LLC

689 Fifth Avenue, 4th Floor
New York, NY 10022
tel (212) 879 0500

OWNER'S REPRESENTATIVE

DAVID J. SPECTOR ASSOCIATES, INC.

501 Fifth Avenue, Suite 1702
New York, NY 10017
tel (212) 869 8200 fax (212) 869 6977

EXTERIOR CONSULTANT

LAWLESS & MANGIONE, LLP

480 N. Broadway
Yonkers, NY 10701
tel (914) 423 8844 fax (914) 423 8981

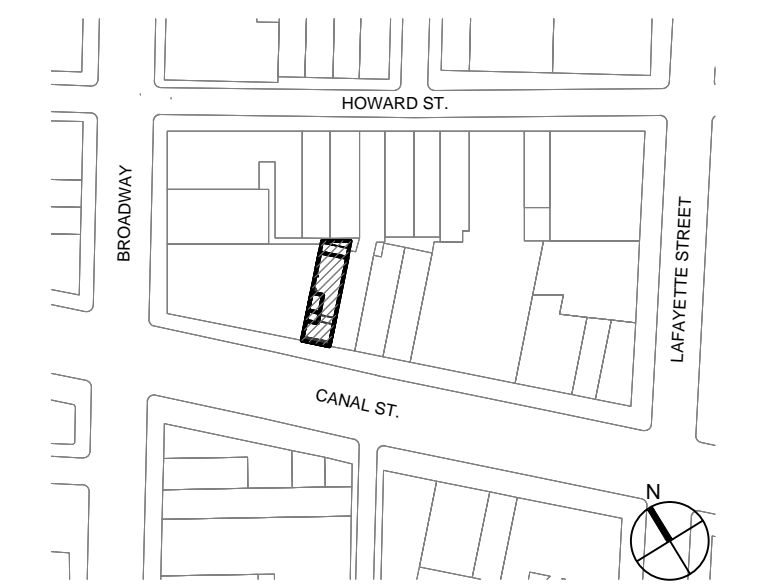
MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

PLUS GROUP, PLLC

32 Broadway, Suite 1601
New York, NY 10004
tel (212) 233 2700 fax (212) 233 2727

GENERAL CONTRACTOR

KEY PLAN



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Revision Date Remarks

Drawing Title

DOOR SCHEDULE AND ELEVATIONS

PROJECT NO.

1717

DATE

02/05/18

SCALE

AS NOTED

DRAWN / CHECKED

FC/SP

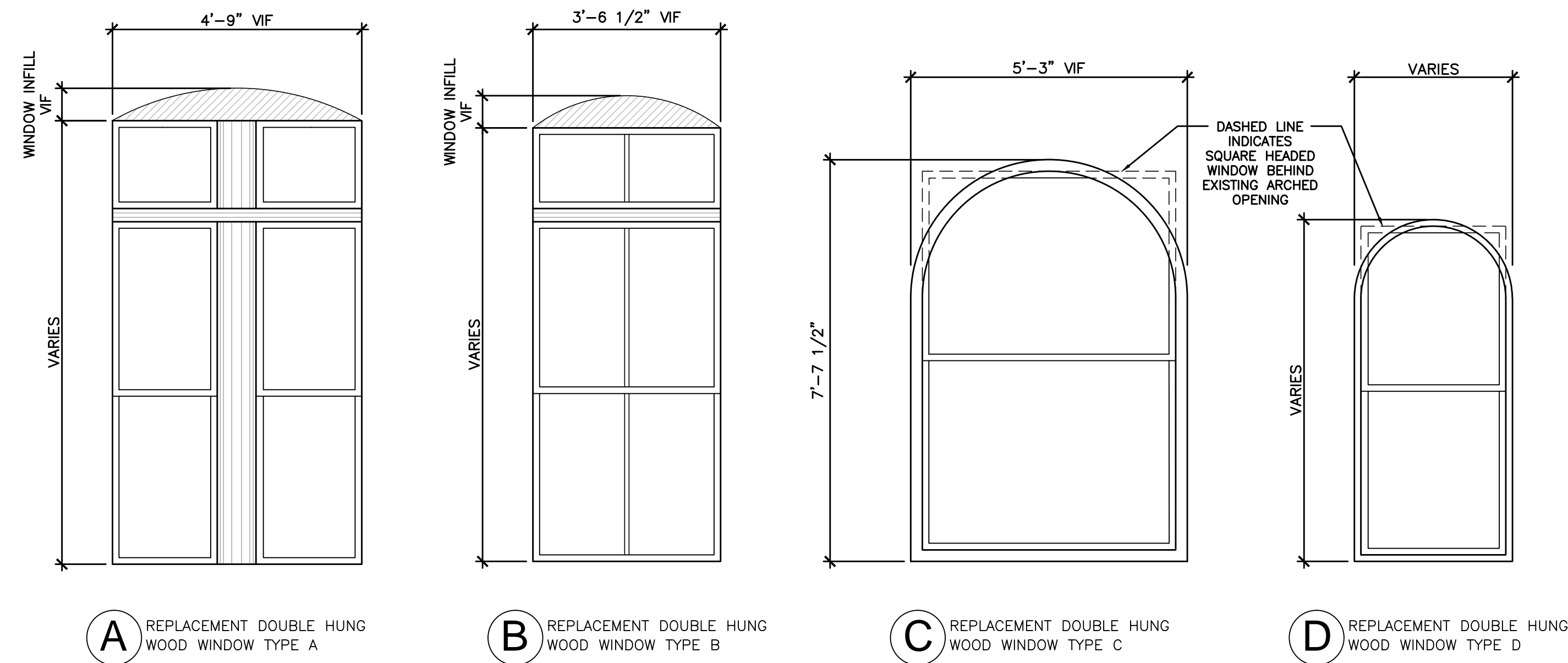
DRAWING NO.

A-910.00

SHEETS IN DOB SET

13 of 15

WINDOW TYPES



| M.O. / WINDOW NUMBER | WINDOW DESCRIPTION | | | | WINDOW DETAILS | | | | | | | | LOCATION/REMARKS |
|----------------------|--------------------|----------|--------------|---------------------|-----------------|-----------|-----------|-----------|-----------|------------|-----------|--------------|----------------------------|
| | TYPE | MATERIAL | WINDOW ELEV. | WINDOW UNITS / R.O. | MASONRY OPENING | | HEAD | SILL | JAMB | MULLION | MUNTIN | MEET'G. RAIL | |
| | | | | | WIDTH | HEIGHT | | | | | | | |
| SECOND FLOOR | 201 | B | WOOD | A200.00 | 4'-0" VIF | 8'-3" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | SECOND FLOOR STREET FACADE |
| | 202 | A | WOOD | A200.00 | 5'-3" VIF | 8'-3" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | SECOND FLOOR STREET FACADE |
| | 203 | B | WOOD | A200.00 | 4'-0" VIF | 8'-3" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | SECOND FLOOR STREET FACADE |
| THIRD FLOOR | 301 | B | WOOD | A200.00 | 4'-0" VIF | 7'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | THIRD FLOOR STREET FACADE |
| | 302 | A | WOOD | A200.00 | 5'-3" VIF | 7'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | THIRD FLOOR STREET FACADE |
| | 303 | B | WOOD | A200.00 | 4'-0" VIF | 7'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | THIRD FLOOR STREET FACADE |
| FOURTH FLOOR | 401 | D | WOOD | A200.00 | 4'-0" VIF | 7'-7" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FOURTH FLOOR STREET FACADE |
| | 402 | C | WOOD | A200.00 | 5'-3" VIF | 7'-7" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FOURTH FLOOR STREET FACADE |
| | 403 | D | WOOD | A200.00 | 4'-0" VIF | 7'-7" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FOURTH FLOOR STREET FACADE |
| FIFTH FLOOR | 501 | D | WOOD | A200.00 | 3'-0" VIF | 6'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FIFTH FLOOR STREET FACADE |
| | 502 | D | WOOD | A200.00 | 3'-0" VIF | 6'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FIFTH FLOOR STREET FACADE |
| | 503 | D | WOOD | A200.00 | 3'-0" VIF | 6'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FIFTH FLOOR STREET FACADE |
| | 504 | D | WOOD | A200.00 | 3'-0" VIF | 6'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FIFTH FLOOR STREET FACADE |
| | 505 | D | WOOD | A200.00 | 3'-0" VIF | 6'-6" VIF | 1/A921.00 | 2/A921.00 | 3/A921.00 | 3B/A921.00 | C/A921.00 | A/A921.00 | FIFTH FLOOR STREET FACADE |

GENERAL WINDOW NOTE: VERIFY ALL EXISTING ROUGH OPENING DIMENSIONS PRIOR TO WINDOW FABRICATION AND INSTALLATION

PROJECT
275 CANAL ST
 275 CANAL STREET
 NEW YORK, NY 10013

ARCHITECT
P K S B
 330 W42 Street
 New York, NY 10036
 tel 212 594 2010
 fax 212 947 4381

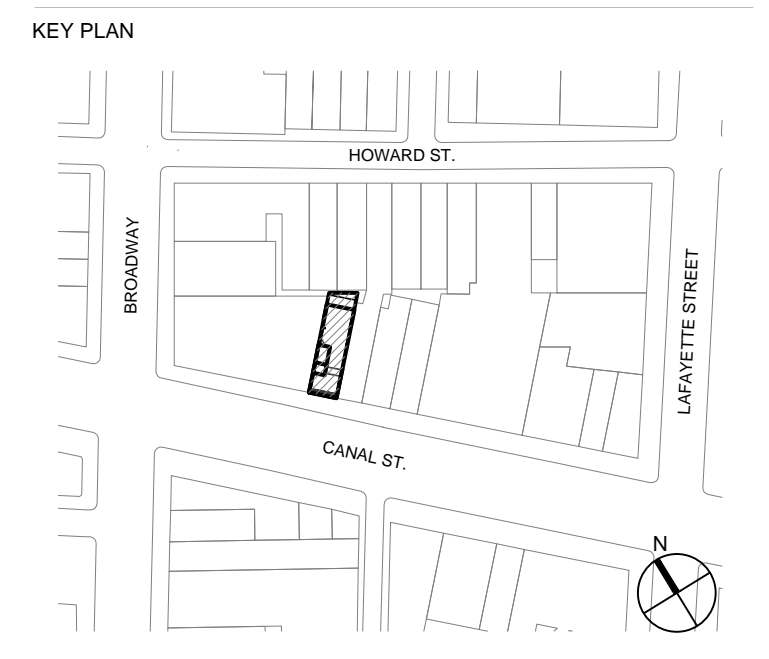
OWNER
275 CANAL, SPE LLC
 689 Fifth Avenue, 4th Floor
 New York, NY 10022
 tel (212) 879 0500

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 New York, NY 10017
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STRUCTURAL ENGINEER
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 Yonkers, NY 10701
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 32 Broadway, Suite 1601
 New York, NY 10004
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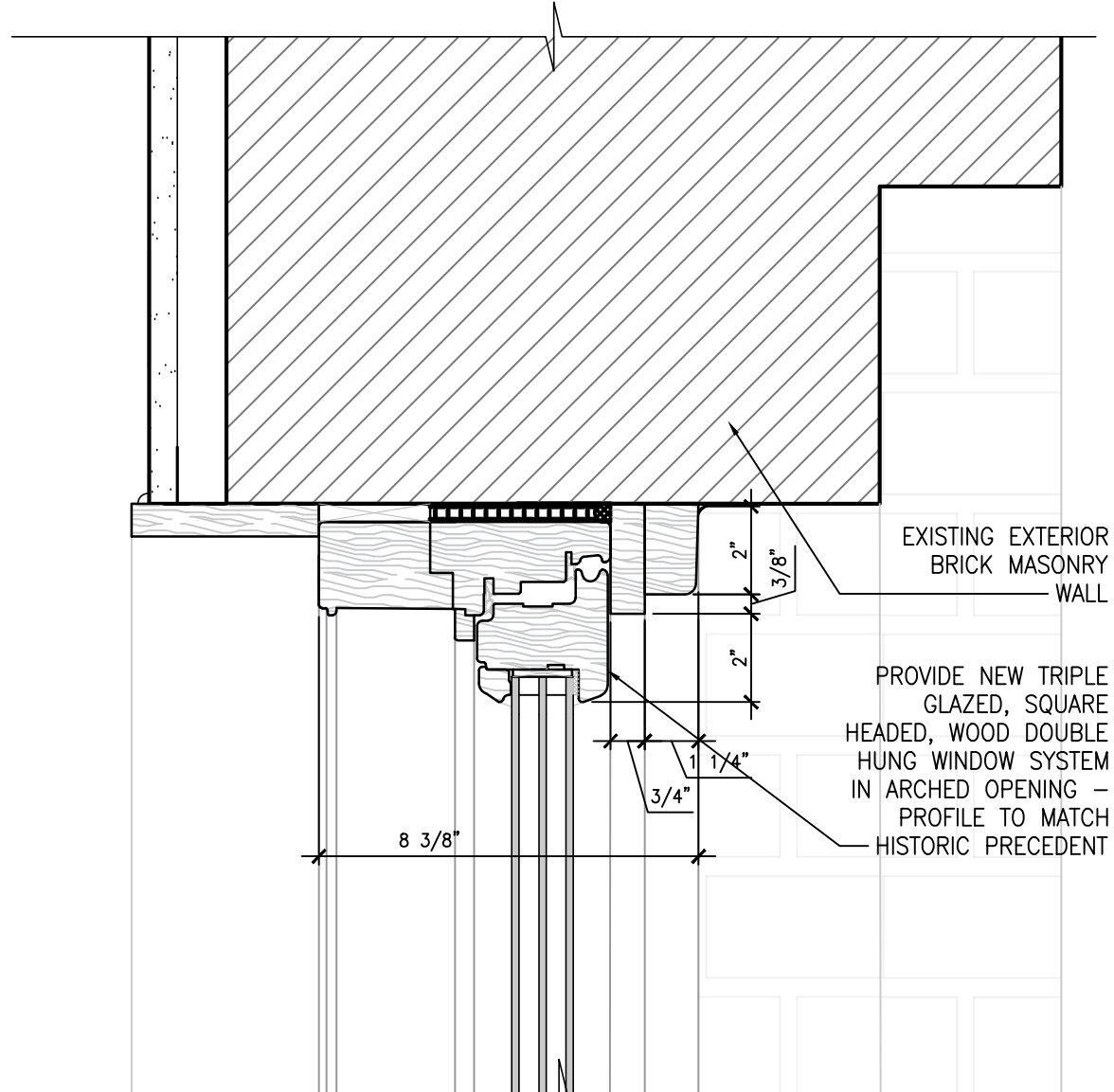
SEAL & SIGNATURE

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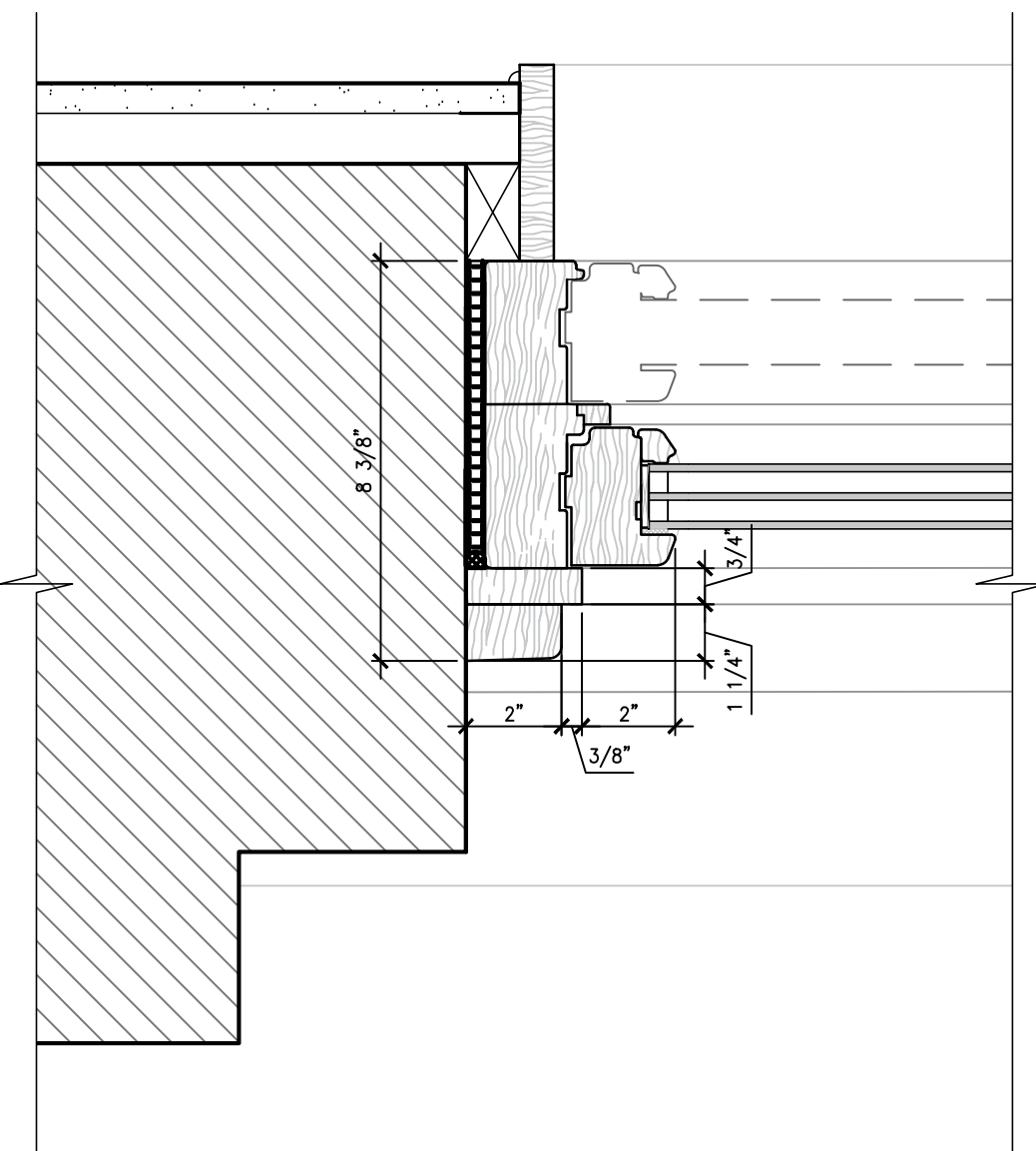
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| Remarks | |

WINDOW SCHEDULE AND ELEVATIONS

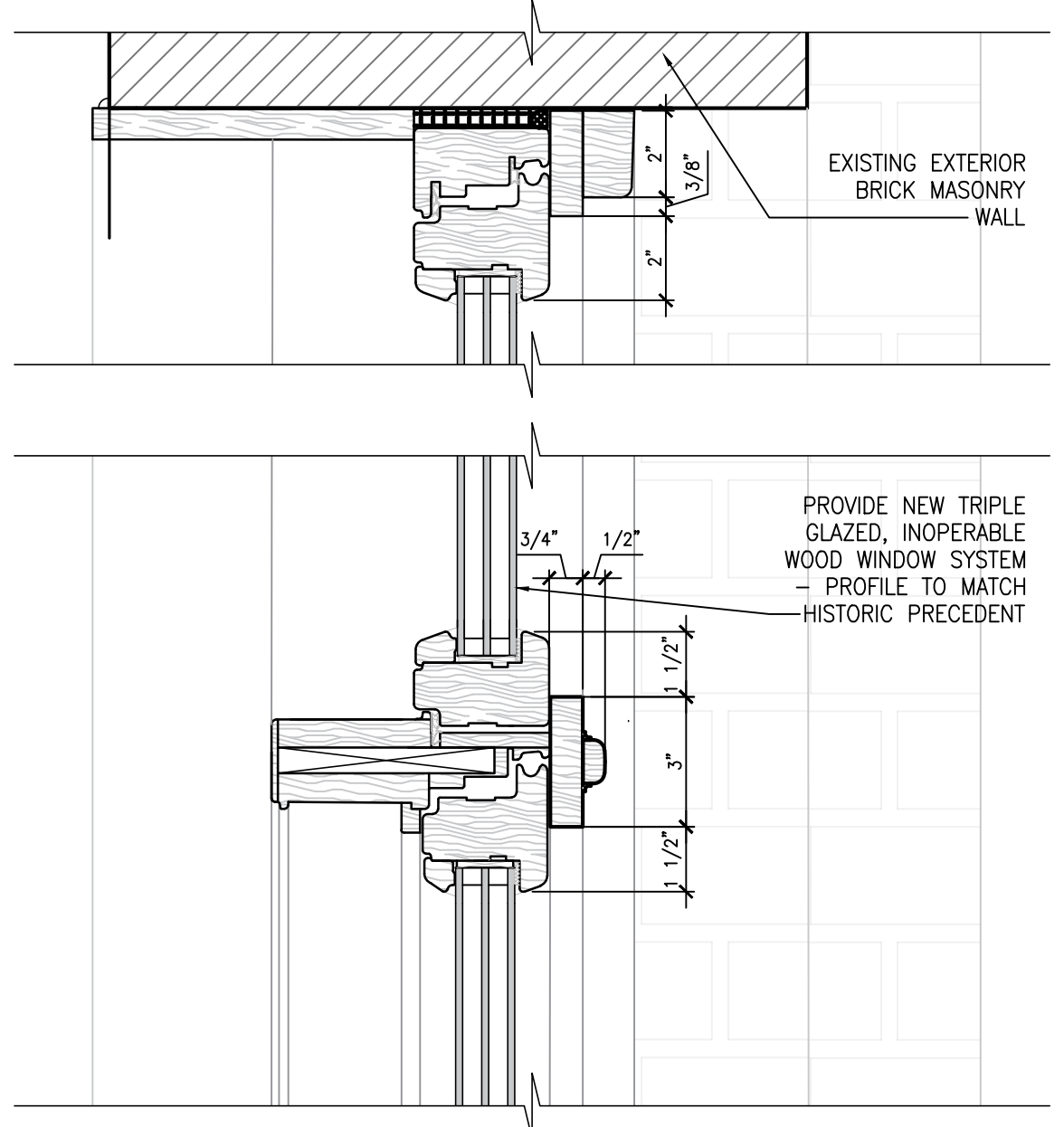
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| DATE 03/08/18 | |
| SCALE AS NOTED | |
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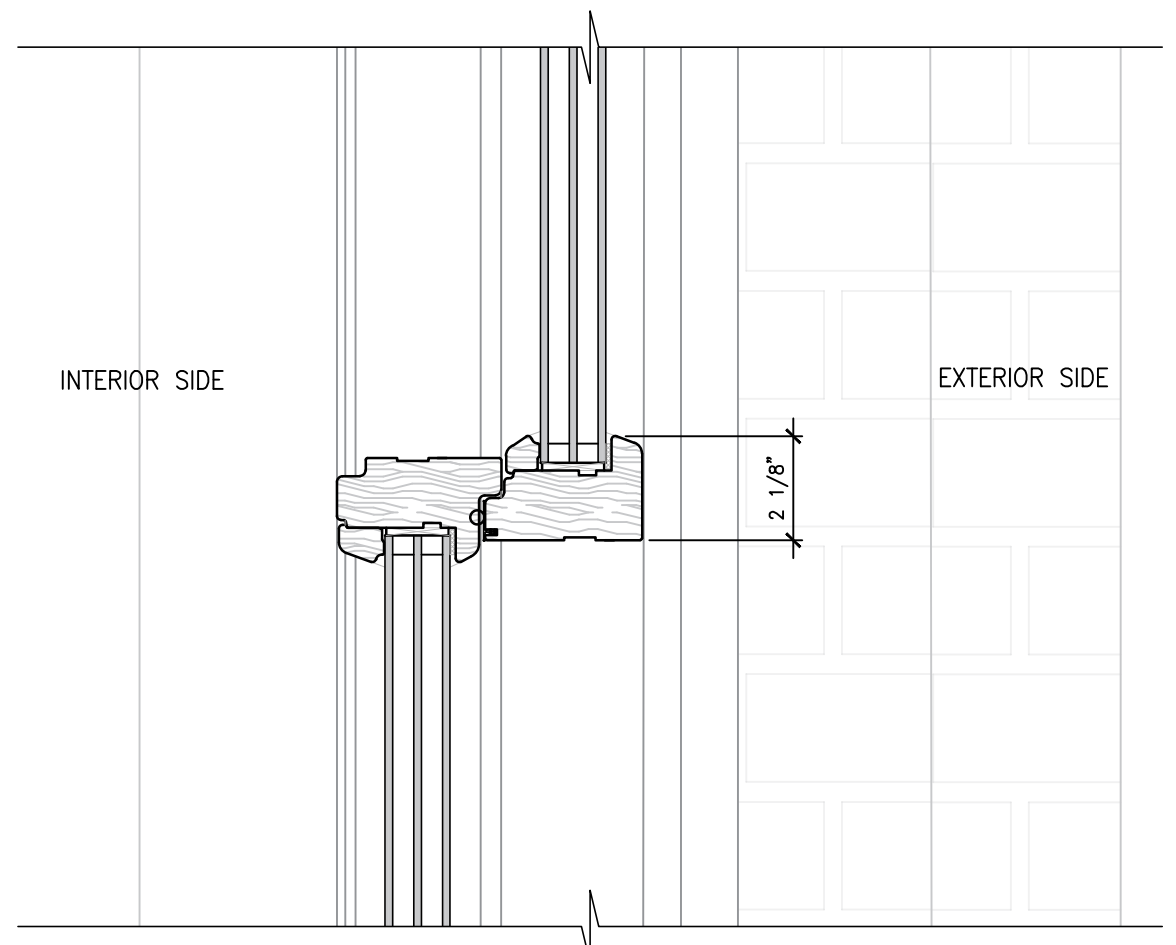
01 PROPOSED TYP WOOD WINDOW HEAD DETAIL
3" = 1'-0"



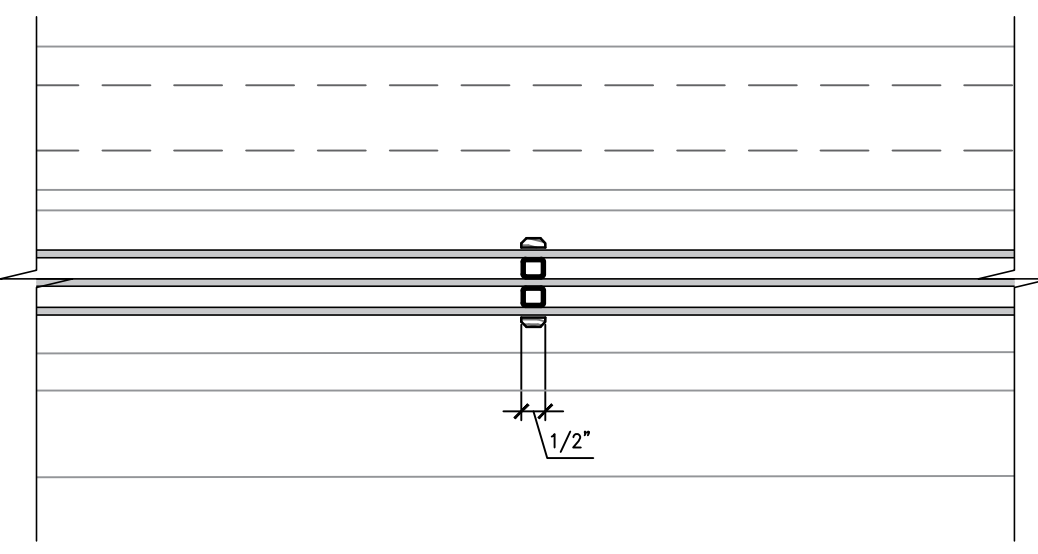
03 PROPOSED WOOD WINDOW JAMB DETAIL
3" = 1'-0"



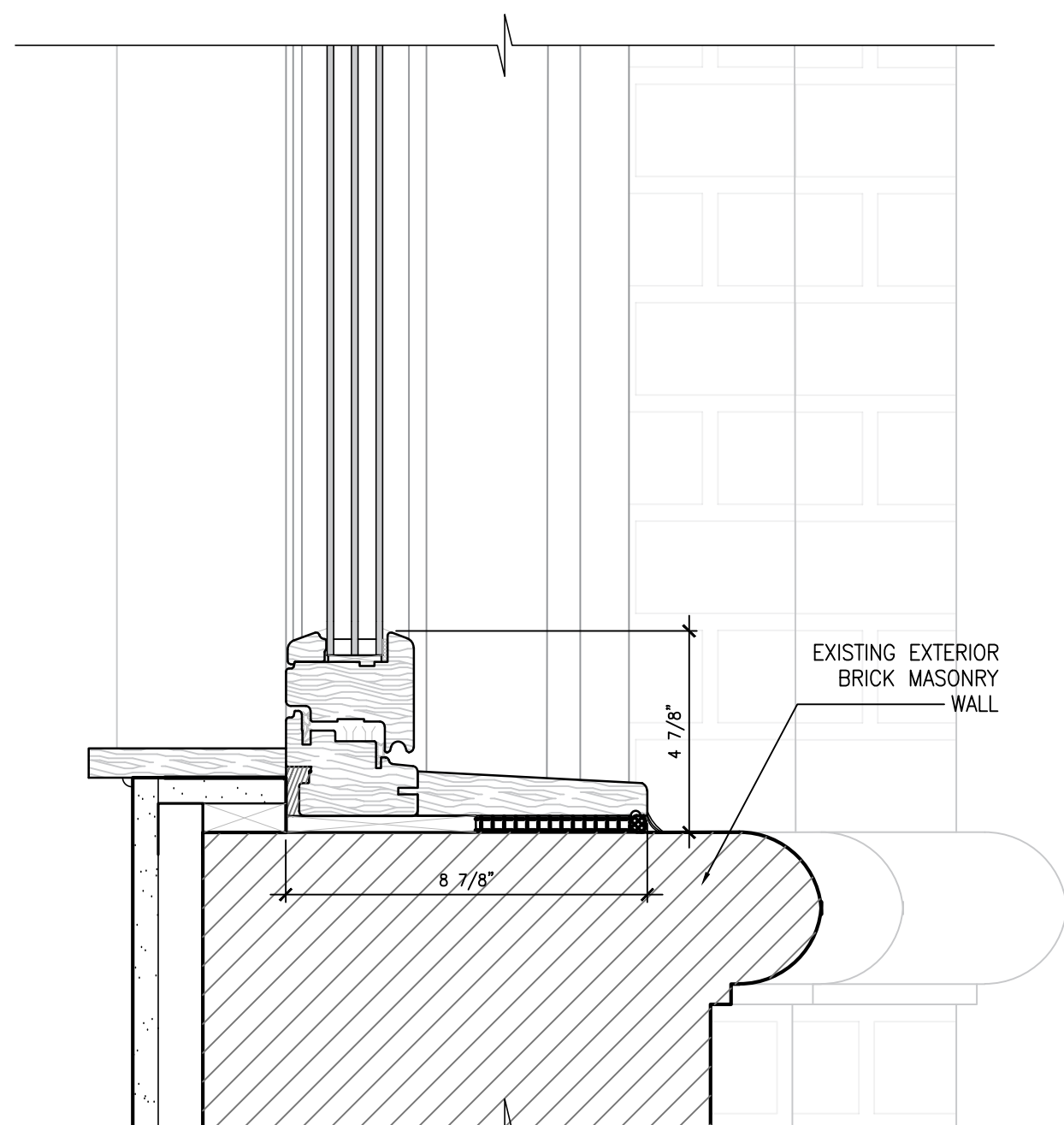
D PROPOSED TYP WOOD WINDOW TRANSOM DETAIL
3" = 1'-0"



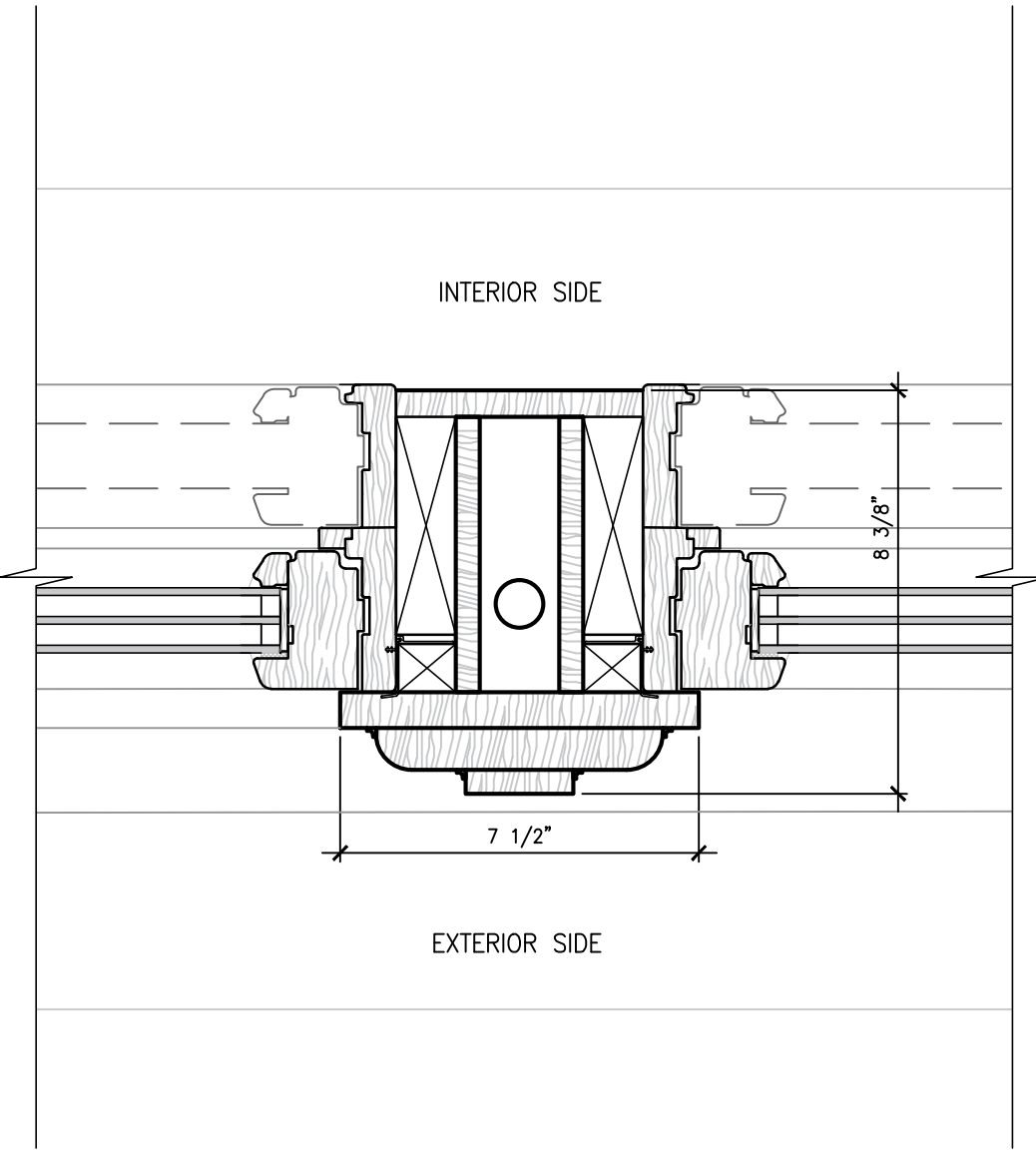
A PROPOSED WOOD DOUBLE HUNG WINDOW RAIL DETAIL
3" = 1'-0"



C PROPOSED WINDOW MUNTIN DETAIL
3" = 1'-0"



02 PROPOSED WOOD WINDOW SILL DETAIL
3" = 1'-0"



03B PROPOSED WOOD WINDOW MULLION DETAIL
3" = 1'-0"

PROJECT
275 CANAL ST
275 CANAL STREET
NEW YORK, NY 10013

ARCHITECT
P K + S B
330 W42 Street
New York, NY 10036
tel 212 594 2010
fax 212 947 4381

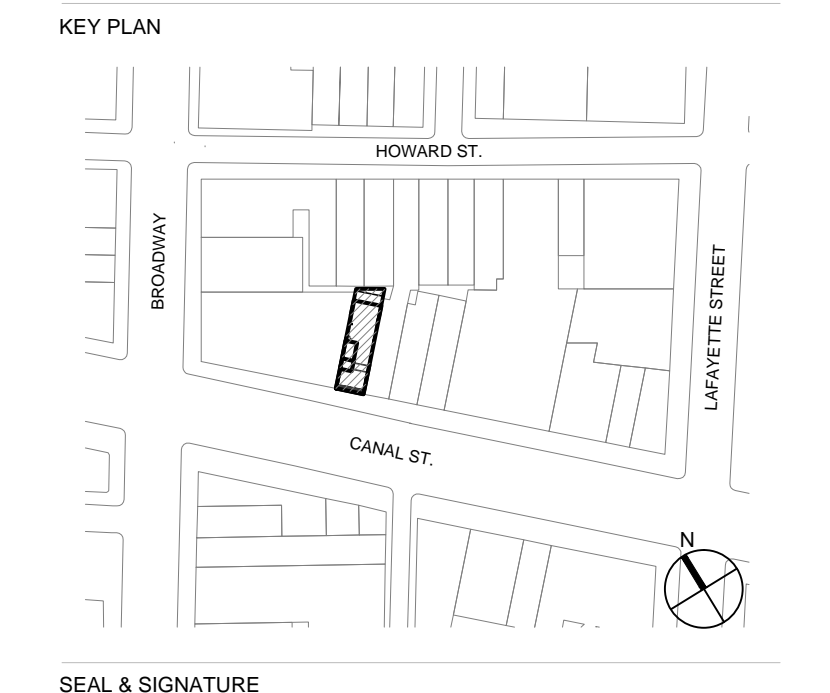
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WINDOW DETAILS

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